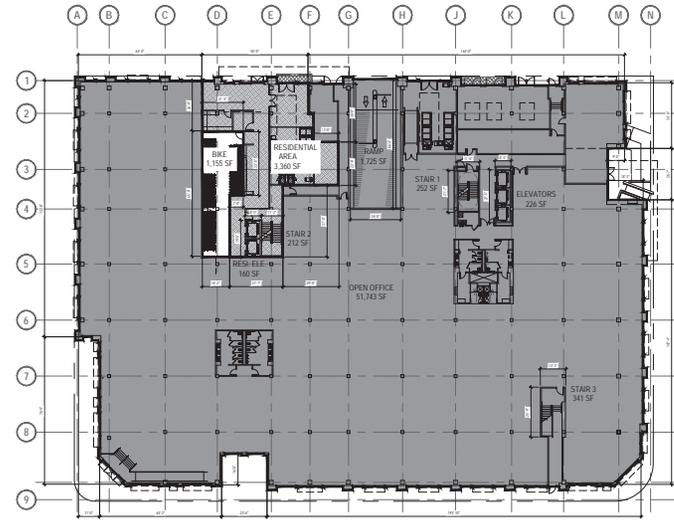


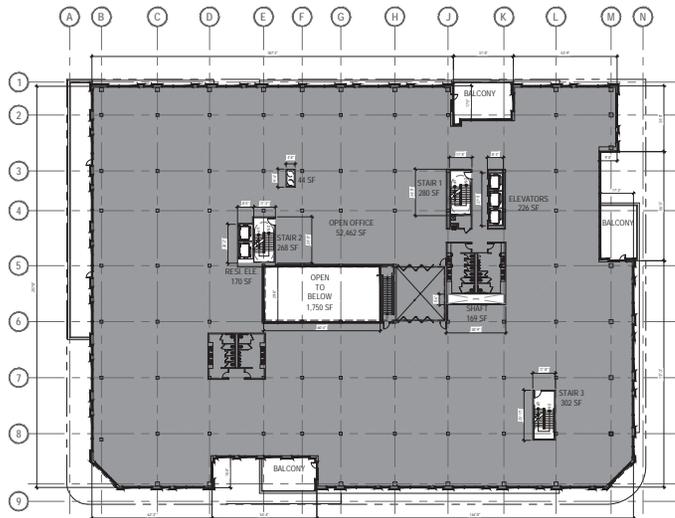
SECOND LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



FIRST LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



THIRD LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"

PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	51,743 SQ. FT.
STAIR #1	252 SQ. FT.
STAIR #2	341 SQ. FT.
STAIR #3	226 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	52,588 SQ. FT.
SECOND LEVEL	
OFFICE AREA	57,845 SQ. FT.
STAIR #1	280 SQ. FT.
STAIR #2	268 SQ. FT.
STAIR #3	302 SQ. FT.
SHAFTS	213 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	59,134 SQ. FT.
THIRD LEVEL	
OFFICE AREA	52,462 SQ. FT.
STAIR #1	280 SQ. FT.
STAIR #2	268 SQ. FT.
STAIR #3	302 SQ. FT.
SHAFTS	213 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	53,751 SQ. FT.
FOURTH LEVEL	
OFFICE AREA	7,958 SQ. FT.
STAIR #1	360 SQ. FT.
STAIR #2	216 SQ. FT.
STAIR #3	302 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	9,062 SQ. FT.
FIFTH LEVEL	
OFFICE AREA	6,648 SQ. FT.
STAIR #1	240 SQ. FT.
STAIR #2	216 SQ. FT.
STAIR #3	302 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	7,632 SQ. FT.

FAR FLOOR AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	51,743 SQ. FT.
RESIDENTIAL SPACE	3,360 SQ. FT.
STAIR #1	252 SQ. FT.
STAIR #2 (RES)	212 SQ. FT.
STAIR #3	341 SQ. FT.
PARKING RAMP	1,725 SQ. FT.
RESIDENTIAL ELEVATORS	160 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
FLOOR AREA OFFICE*	54,297 SQ. FT.
FLOOR AREA RESIDENTIAL*	3,732 SQ. FT.
SECOND LEVEL	
OFFICE AREA	57,845 SQ. FT.
FLOOR AREA OFFICE*	57,845 SQ. FT.
THIRD LEVEL	
OFFICE AREA	52,462 SQ. FT.
FLOOR AREA OFFICE*	52,462 SQ. FT.
FOURTH LEVEL	
OFFICE AREA	8,318 SQ. FT.
RESIDENTIAL AREA	28,924 SQ. FT.
FLOOR AREA OFFICE*	8,318 SQ. FT.
FLOOR AREA RESIDENTIAL*	28,924 SQ. FT.
FIFTH LEVEL	
OFFICE AREA	6,648 SQ. FT.
RESIDENTIAL AREA	35,676 SQ. FT.
FLOOR AREA OFFICE*	6,648 SQ. FT.
FLOOR AREA RESIDENTIAL*	35,676 SQ. FT.
SIXTH LEVEL	
RESIDENTIAL AREA	26,246 SQ. FT.
FLOOR AREA RESIDENTIAL*	26,246 SQ. FT.

TOTAL FAR FLOOR AREA OFFICE: 179,560 SQ.FT.
 TOTAL FAR FLOOR AREA RESIDENTIAL: 89,378 SQ.FT.
 TOTAL PARKING FLOOR AREA : 182,146 SQ.FT.

- *Per San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in r1 zoning districts.
- (1) Floor area is measured from the exterior facade of the building's wall planes, from the corner of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Staircases exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).
- (2) Exclusions. The following are not counted as floor area:
- (A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
 - (B) In multiple-level buildings, covered courts; if the retailing uses are open to the public, multiple-level stairwells and elevators shall be counted only as ground floor area;
 - (C) Covered walkways and balconies;
 - (D) First floors, mechanical areas, penthouses, and top floors are counted only once as floor area, regardless of height;
 - (E) Bicycle parking facilities;
 - (F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
 - (G) Covered parking for office uses shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

FAR AREA DESIGNATION

-  OFFICE AREA
-  RESIDENTIAL AREA
-  AREAS EXCLUDED FROM FAR CALCULATIONS
-  OPEN TO BELOW AREA ADDED TO FAR CALCULATIONS



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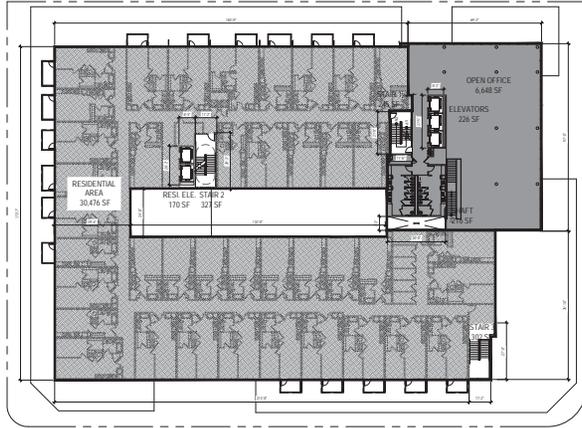
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WINDY HILL PROPERTY VENTURES
 BLOCK 21
 SAN MATEO, CA 94401

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PLANNING DEPARTMENT
 AREA CALCULATIONS

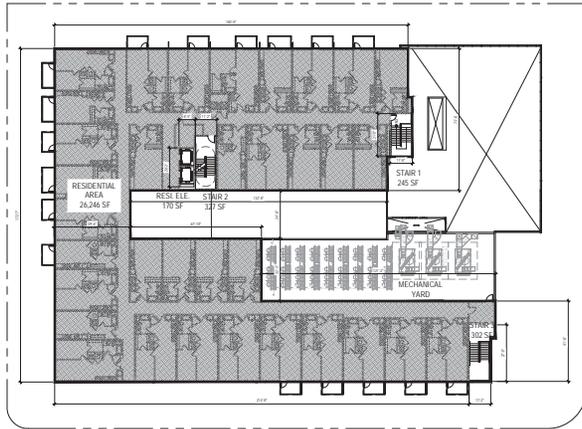
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PROJECT NO. 202207



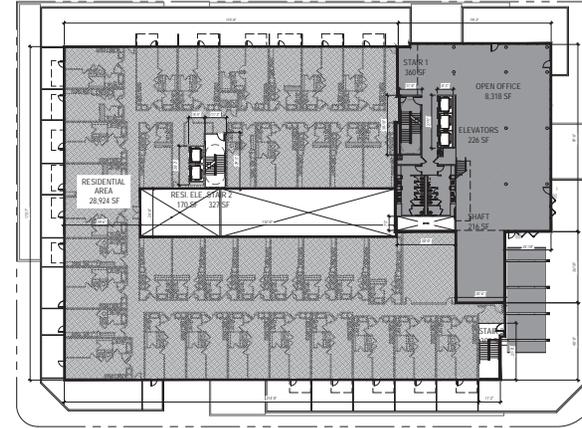
FIFTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



SIXTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



FOURTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"

PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	51,743 SQ. FT.
STAIR #1	252 SQ. FT.
STAIR #3	341 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	52,560 SQ. FT.
SECOND LEVEL	
OFFICE AREA	57,845 SQ. FT.
STAIR #1	280 SQ. FT.
STAIR #2	248 SQ. FT.
STAIR #3	302 SQ. FT.
SHAFTS	213 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	59,134 SQ. FT.
THIRD LEVEL	
OFFICE AREA	52,462 SQ. FT.
STAIR #1	280 SQ. FT.
STAIR #2	248 SQ. FT.
STAIR #3	302 SQ. FT.
SHAFTS	213 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	53,751 SQ. FT.
FOURTH LEVEL	
OFFICE AREA	7,968 SQ. FT.
STAIR #1	340 SQ. FT.
SHAFT	216 SQ. FT.
STAIR #3	302 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	9,062 SQ. FT.
FIFTH LEVEL	
OFFICE AREA	6,448 SQ. FT.
STAIR #1	245 SQ. FT.
SHAFT	216 SQ. FT.
STAIR #3	302 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	7,637 SQ. FT.

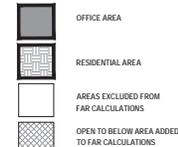
FAR FLOOR AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	51,743 SQ. FT.
RESIDENTIAL SPACE	3,360 SQ. FT.
STAIR #1	252 SQ. FT.
STAIR #2 (RES.)	212 SQ. FT.
STAIR #3	341 SQ. FT.
PARKING RAMP	1,725 SQ. FT.
RESIDENTIAL ELEVATORS	140 SQ. FT.
FLOOR AREA OFFICE*	54,287 SQ. FT.
FLOOR AREA RESIDENTIAL*	3,732 SQ. FT.
SECOND LEVEL	
OFFICE AREA	57,845 SQ. FT.
FLOOR AREA OFFICE*	57,845 SQ. FT.
THIRD LEVEL	
OFFICE AREA	52,462 SQ. FT.
FLOOR AREA OFFICE*	52,462 SQ. FT.
FOURTH LEVEL	
OFFICE AREA	8,318 SQ. FT.
RESIDENTIAL AREA	28,924 SQ. FT.
FLOOR AREA OFFICE*	8,318 SQ. FT.
FLOOR AREA RESIDENTIAL*	28,924 SQ. FT.
FIFTH LEVEL	
OFFICE AREA	6,448 SQ. FT.
RESIDENTIAL AREA	30,476 SQ. FT.
FLOOR AREA OFFICE*	6,448 SQ. FT.
FLOOR AREA RESIDENTIAL*	30,476 SQ. FT.
SIXTH LEVEL	
RESIDENTIAL AREA	26,246 SQ. FT.
FLOOR AREA RESIDENTIAL*	26,246 SQ. FT.

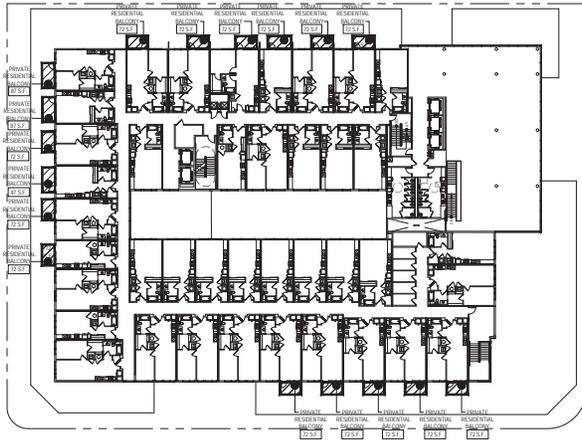
TOTAL FAR FLOOR AREA OFFICE: 179,560 SQ. FT.
 TOTAL FAR FLOOR AREA RESIDENTIAL: 89,378 SQ. FT.
 TOTAL PARKING FLOOR AREA: 182,146 SQ. FT.

*PER San Mateo Municipal Code 27.04.200 (b) Measurement other than single-family dwellings in R1 zoning districts.
 (1) Floor area is measured from the exterior facade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (4)(B).
 (2) Exclusions. The following are not counted as floor area:
 (A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
 (B) In multi-level buildings, covered courts, if the relating uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
 (C) Covered walkways and balconies;
 (D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
 (E) Bicycle parking facilities;
 (F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
 (G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

FAR AREA DESIGNATION

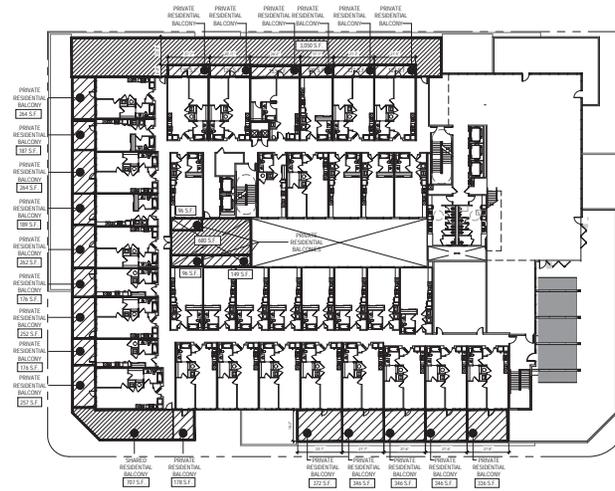


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12/23/2011	2ND FORMAL PLANNING SUBMITTAL
03/29/2012	3RD FORMAL PLANNING SUBMITTAL



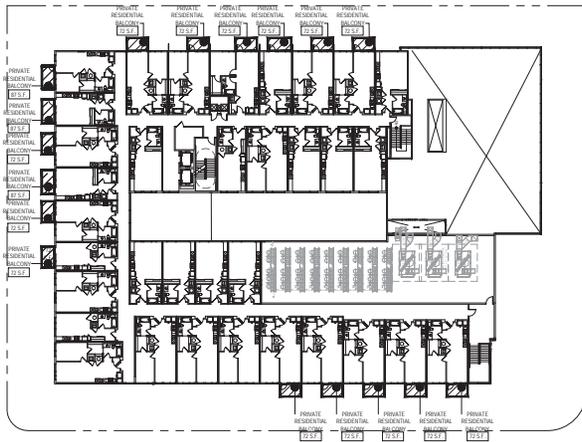
FIFTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



FOURTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



SIXTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"

USABLE OPEN SPACE CALCULATIONS

PER SIMAC 27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

- (G) OPEN SPACE. RESIDENTIAL DEVELOPMENT SHALL INCLUDE PRIVATE USABLE OPEN SPACE EQUAL TO AT LEAST 80 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) PER DWELLING UNIT OR COMMON USABLE OPEN SPACE EQUAL TO AT LEAST 150% OF THE PRIVATE USABLE OPEN SPACE REQUIREMENTS, OR A COMBINATION OF BOTH.
- PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) AND SHALL NOT BE LESS THAN SIX (6) FEET IN ANY DIMENSION.

OPEN SPACE LEGEND

- PRIVATE OPEN SPACE
- COMMON OPEN

57 RESIDENTIAL UNITS HAVE PRIVATE OPEN SPACE MEETING THE ABOVE REQUIREMENTS:
 PROVIDED PRIVATE OPEN SPACE = 7,087 S.F.

54 UNITS REQUIRE COMMON OPEN SPACE (84 X (57 S.F. X 1.5)) = 4,615 S.F.
 PROVIDED COMMON OPEN SPACE = 4,615 S.F.

TOTAL REQUIRED OPEN SPACE MEET THROUGH COMBINATION OF PRIVATE AND COMMON OPEN SPACE
 TOTAL PROVIDED OPEN SPACE PRIVATE + COMMON = 11,702 S.F.



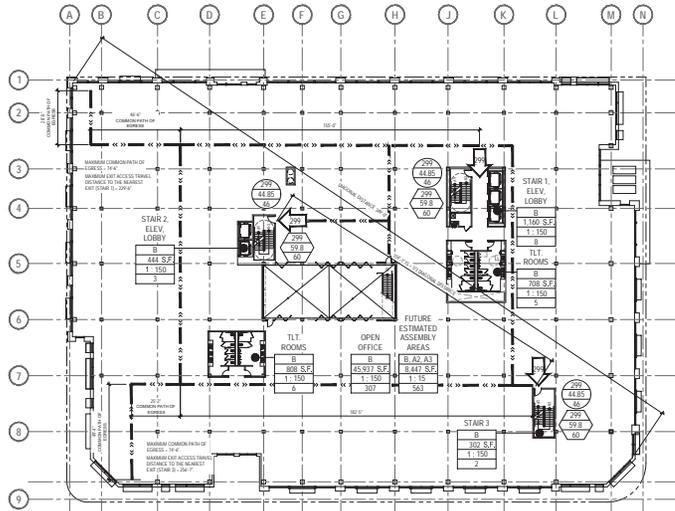
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 BLOCK 21
 SAN MATEO, CA 94401

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RESIDENTIAL USABLE OPEN SPACE DIAGRAMS

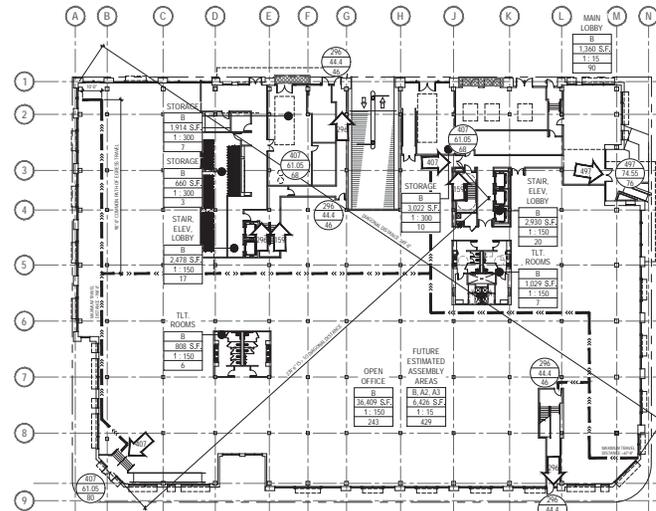
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PROJECT NO. 205207



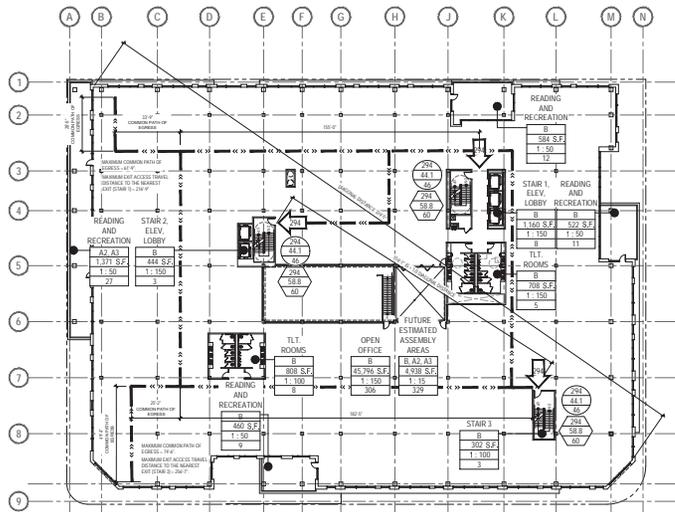
SECOND LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FIRST LEVEL EGRESS PLAN

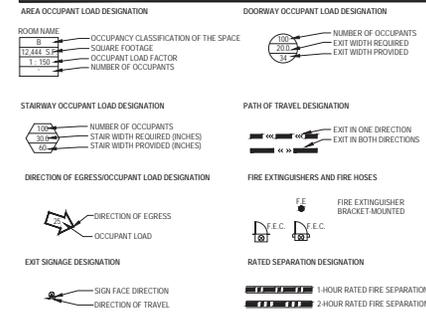
SCALE: 1/32" = 1'-0"



THIRD LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

SYMBOL KEY



EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AN EMERGENCY VOICE ALARM SYSTEM PER CBC SECTION 907.5.2.2 IN ADDITION TO THE AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.2' PER PERSON FOR STAIRS AND 0.15' PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



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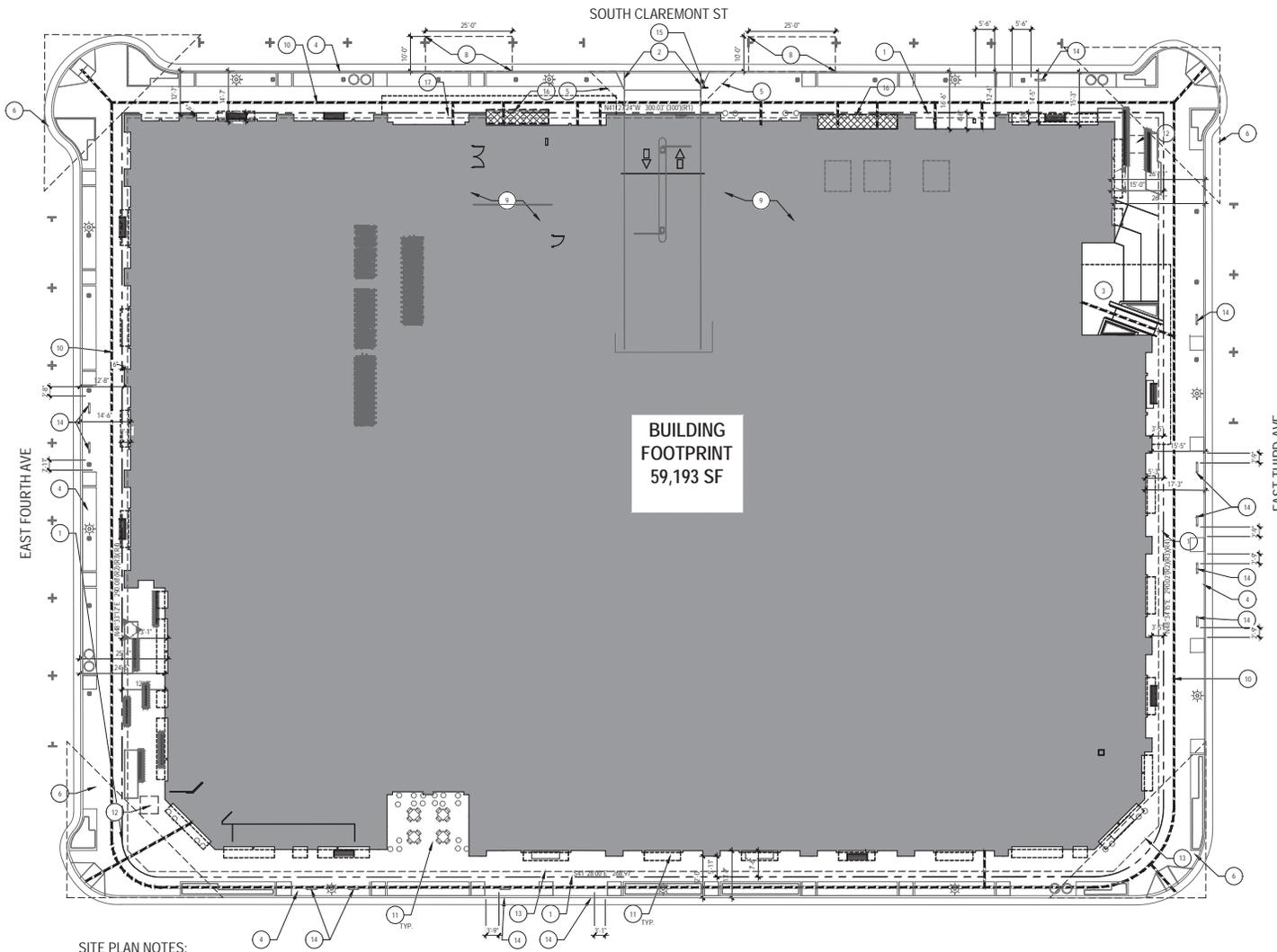
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03.29.2022	3RD FORMAL PLANNING SUBMITTAL

EGRESS DIAGRAMS

A 0.32

PROJECT NO. 205207



SITE PLAN NOTES:

- REFER TO SHEET C2.01 AND C3.01 FOR ALL EXISTING AND PROPOSED OBSTRUCTIONS ON SIDEWALKS AND CURBS INCLUDING BUT NOT LIMITED TO HYDRANTS, UTILITY METERS, UTILITY POLES AND STREET LIGHTS.
- REFER TO SHEET C2.01 FOR ALL EXISTING EASEMENTS ON THE PROJECT. THERE ARE NO PROPOSED EASEMENTS AT THIS TIME.
- REFER TO SHEET L5.1 FOR LOCATION, SPECIES AND SIZE OF ALL EXISTING TREES NOTED TO BE REMOVED.

SOUTH DELAWARE STREET

SITE PLAN

SCALE: 1/16" = 1'-0"



PROJECT DATA

ASSESSOR'S PARCEL NO.: 034185160, 034185090, 034185040, 034185060, 03485170, 034185120, 034185120, 034185110, 034184190, 034185200, 034185140.

ZONING: CSDS - CENTRAL BUSINESS SUPPORT
 SITE AREA: ±55,888 S.F. / 1.51 ACRES
 MAX. ALLOWABLE AREA / MAX. F.A.R.: 197,844 S.F. / 3.0
 MAX. RESIDENTIAL UNITS (50 PER ACRE): 76 UNITS
 CALIFORNIA DENSITY BONUS (ADDITIONAL 1.50): 114 UNITS

ALLOWABLE HEIGHT: 55'-0"
 PROPOSED HEIGHT: 72'-10"

PROPOSED FLOOR AREA:

FIRST FLOOR:	OFFICE:	58,019 S.F.
	RESIDENTIAL:	54,287 S.F.
SECOND FLOOR:	OFFICE:	3,732 S.F.
	RESIDENTIAL:	57,845 S.F.
THIRD FLOOR:	OFFICE:	57,845 S.F.
	RESIDENTIAL:	0 S.F.
FOURTH FLOOR:	OFFICE:	52,462 S.F.
	RESIDENTIAL:	0 S.F.
FIFTH FLOOR:	OFFICE:	52,462 S.F.
	RESIDENTIAL:	0 S.F.
SIXTH FLOOR:	OFFICE:	8,318 S.F.
	RESIDENTIAL:	28,924 S.F.
TOTAL FLOOR AREA BUILDING:		371,244 S.F.

FLOOR AREA RATIO (24X,938 S.F. AS,888 S.F.) 4.08
 *PER CALIFORNIA DENSITY BONUS, ADDITIONAL FAR INCREASE BEYOND 3.0 REQUESTED

PARCEL COVERAGE: 59,193 / 65,888 = 89.8%
 F.A.R. (OFFICE AREA): 179,560 / 65,888 = 2.72

TOTAL RESIDENTIAL UNITS: 111 UNITS
 UNIT TYPE COUNT:
 53 STUDIOS (APPROX. 500 S.F. EA.)
 58 1-BEDROOMS (APPROX. 650 S.F. EA.)

BICYCLE PARKING REQUIRED: PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE, 27.64.262

GENERAL OFFICE:
 1 SHORT-TERM SPACE PER 20,000 S.F. / 179,560 S.F. / 20,000 S.F. = 9 SPACES
 1 LONG-TERM SPACE PER 10,000 S.F. / 179,560 S.F. / 10,000 S.F. = 18 SPACES

RESIDENTIAL:
 05 SHORT-TERM SPACES PER UNIT / 111 UNITS * 05 = 4 SPACES
 1 LONG-TERM SPACE PER UNIT / 111 UNITS * 1 = 111 SPACES

TOTAL SHORT-TERM SPACES: 15 SPACES
 TOTAL LONG-TERM SPACES: 129 SPACES
 BICYCLE PARKING PROVIDED (MINIMUM): 22 SHORT-TERM SPACES / 129 LONG-TERM SPACES

PARKING ANALYSIS

REFER TO SHEETS A02.11 AND A02.12

TOTAL PARKING REQUIRED PER SAN MATEO MUNICIPAL CODE CHAPTER 27.64

OFFICE (871,000 / 110,146 SF)	341 SPACES
RESIDENTIAL (50 UNIT)	56 SPACES
PARKING TOTAL REQUIRED:	397 SPACES

*USING NEW SAN MATEO PARKING CODE SECTION 27.64.100 (a)(1) WITH PREVIOUS SAN MATEO PARKING STUDY. WILL REQUIRE A CITY COMMISSIONED PARKING DEMAND STUDY.

PARKING PROVIDED OFFICE (INCLUDES 80 TANDEM SPACES)	346 SPACES
RESIDENTIAL	56 SPACES
PARKING TOTAL PROVIDED (99% COMPACT)	402 SPACES

*USING STATE DENSITY BONUS FOR RESIDENTIAL TANDEM SPACES AND COMPACT SPACES

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- EXISTING PROPERTY LINE
- CURB CUT AND RAMP TO BELOW GRADE PARKING
- STEPS AND RAMP FROM THE MAIN ENTRY TO PUBLIC SIDEWALK
- EXISTING PUBLIC SIDEWALK
- REQUIRED SITE TRIANGLE AT DRIVEWAY
- REQUIRED SITE TRIANGLE AT INTERSECTIONS
- NEW CURB EXTENSION
- OFF SITE LOADING
- SHIPPING & RECEIVING
- ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
- PUBLIC SEATING
- PRELIMINARY LOCATION OF PROPOSED PUBLIC ART. FINAL LOCATION IS BEING COORDINATED WITH THE CITY.
- LINE OF UNDERGROUND STRUCTURE BELOW
- BIKE RACK - (2) BIKE CAPACITY. REFER TO SHEET L0.1 FOR DIMENSIONS AND DETAILS
- STOP SIGN MOUNTED ON 3" DIA. METAL POST
- HATCHED AREA INDICATES SOLID WASTE PICK-UP STAGING AREA
- RESIDENTIAL ENTRY POINT - ACCESS TO LONG TERM BICYCLE PARKING AREA



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SITE PLAN

A 1.01

PROJECT NO. 205207



WINTER SOLSTICE - 9 AM
SCALE: N.T.S. 10



AUTUMN EQUINOX - 9 AM
SCALE: N.T.S. 7



SUMMER SOLSTICE - 9 AM
SCALE: N.T.S. 4



SPRING EQUINOX - 9 AM
SCALE: N.T.S. 1



WINTER SOLSTICE - 12 PM
SCALE: N.T.S. 11



AUTUMN EQUINOX - 12 PM
SCALE: N.T.S. 8



SUMMER SOLSTICE - 12 PM
SCALE: N.T.S. 5



SPRING EQUINOX - 12 PM
SCALE: N.T.S. 2



WINTER SOLSTICE - 3 PM
SCALE: N.T.S. 12



AUTUMN EQUINOX - 3 PM
SCALE: N.T.S. 9



SUMMER SOLSTICE - 3 PM
SCALE: N.T.S. 6



SPRING EQUINOX - 3 PM
SCALE: N.T.S. 3



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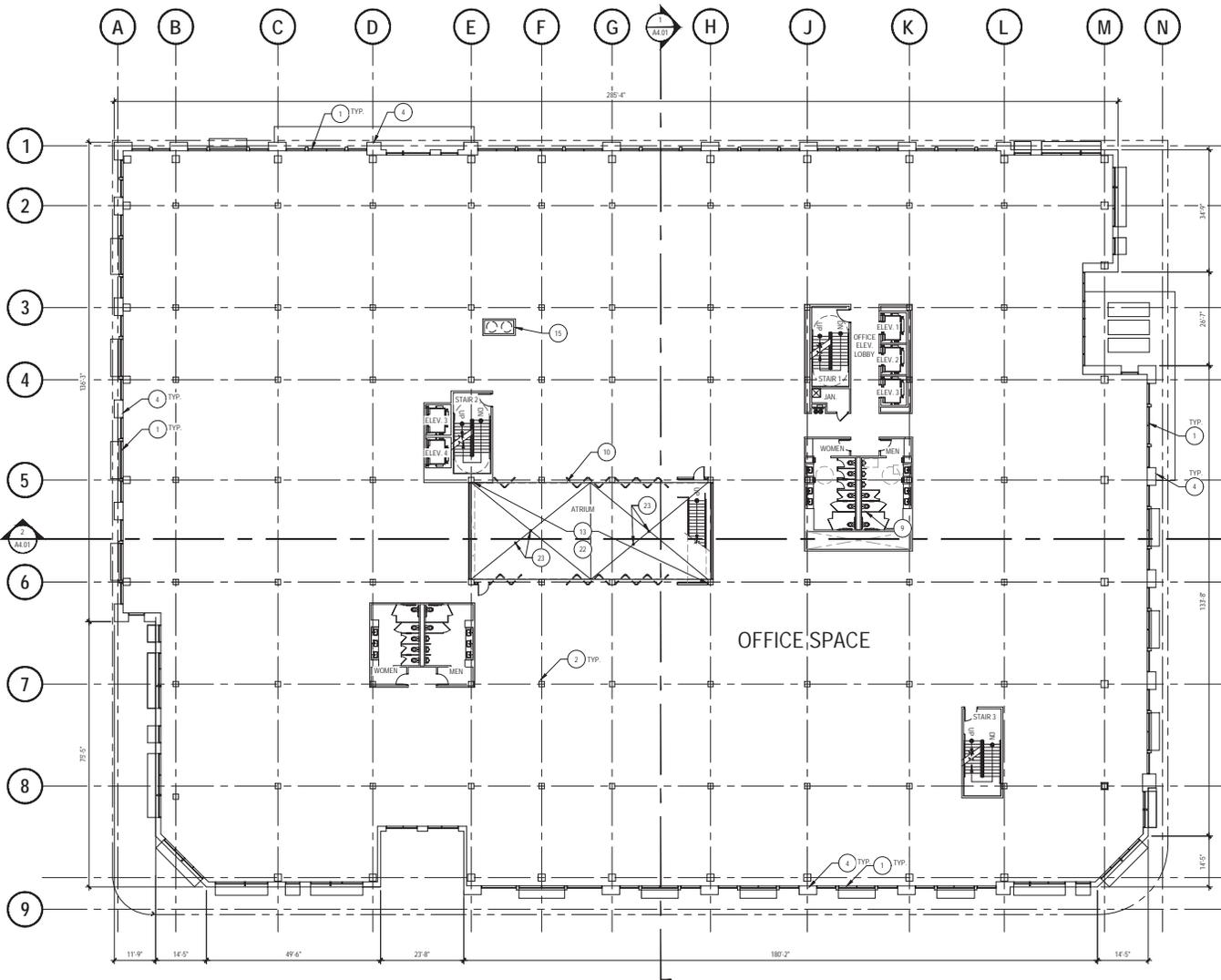
California
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02/22/2011	PRELIM PLANNING SUBMITTAL
04/21/2011	PRELIM PLANNING RE SUBMITTAL
07/28/2011	PRELIM PLANNING SUBMITTAL
10/01/2011	1ST FORMAL PLANNING SUBMITTAL
12/23/2011	2ND FORMAL PLANNING SUBMITTAL
02/09/2012	3RD FORMAL PLANNING SUBMITTAL

SOLAR SHADOW STUDY
A 1.11
PROJECT NO. 205207



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM: REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL BALCONY
- 3 RESIDENTIAL BALCONY
- 4 EXTERIOR WALL: REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL: REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 7 ROOF SCREEN
- 8 LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA: SEE A1.01 FOR BICYCLE PARKING CALCULATIONS
- 9 SHAFT
- 10 NANOWALL GLASS PARTITION
- 11 EXIT PASSAGEWAY
- 12 RAMP DOWN TO BELOW GRADE PARKING
- 13 OPEN TO ABOVE
- 14 OPEN TO AREA BELOW AND ABOVE - ALL EXTERIOR WALLS TO COMPLY WITH APPLICABLE CODES.
- 15 TRASH CHUTE
- 16 LINE OF MEZZANINE ABOVE
- 17 LINE OF BALCONIES ABOVE
- 18 PATIO DIVIDERS
- 19 BALCONY BELOW
- 20 FIRE DEPT KNOX SHUT OFF LOCATION
- 21 LINE OF SOLID WASTE STAGING AREA
- 22 STRUCTURAL SLAB AND TOPPING SLABOR PAVERS IN OPEN TO ABOVE SPACE TO BE SLOPE AT 2% FOR POSITIVE DRAINAGE.
- 23 FLOOR DRAIN AND OVEFLOW TO BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM.

SECOND LEVEL PLAN

SCALE: 1/16" = 1'-0"



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ARCHITECTURAL TECHNOLOGIES

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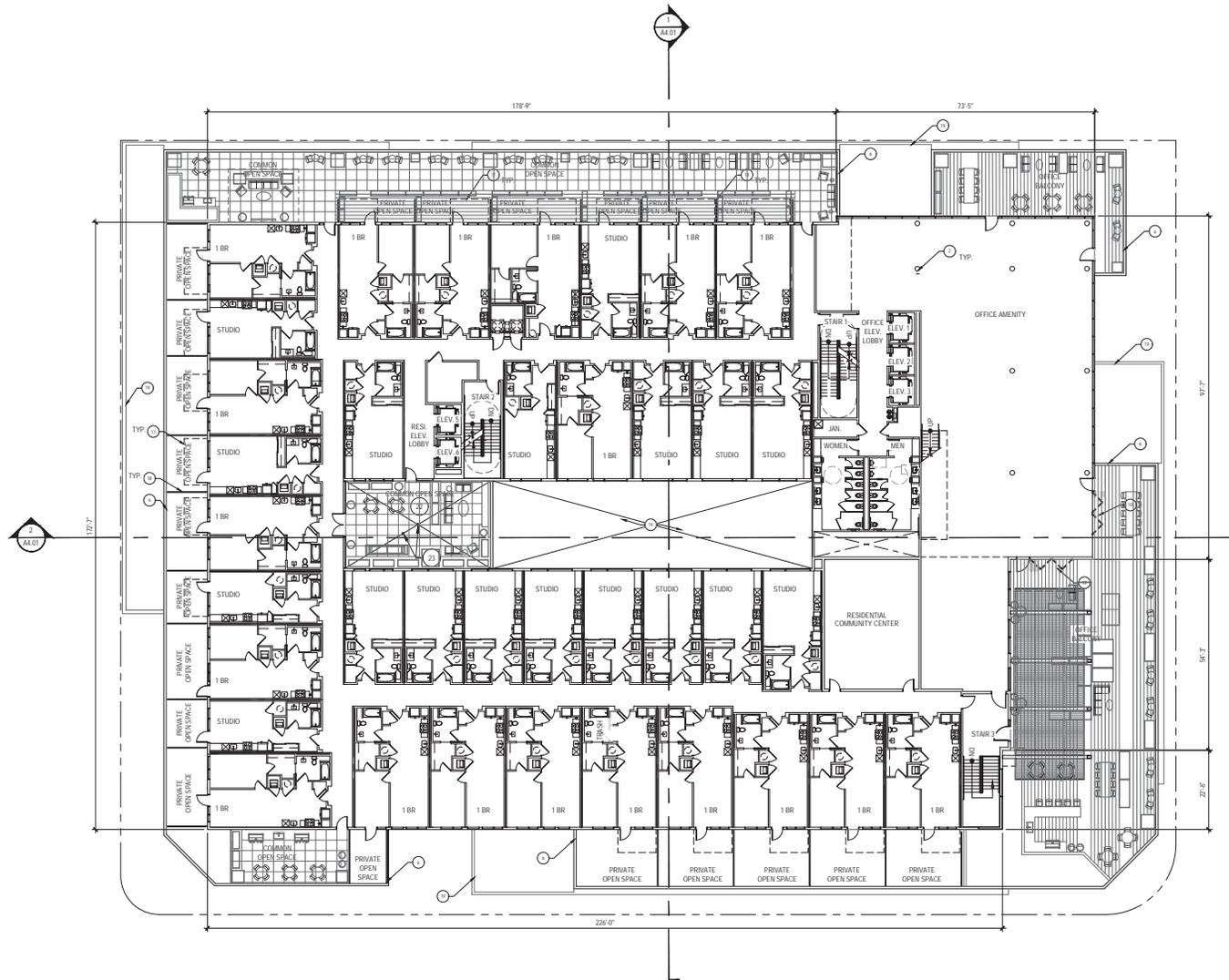
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
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SAN MATEO, CA 94401

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12/23/2021	2ND FORMAL PLANNING SUBMITTAL
03/29/2022	3RD FORMAL PLANNING SUBMITTAL

SECOND LEVEL PLAN

A 2.02

PROJECT NO. 205207



FOURTH LEVEL PLAN

SCALE: 1/16" = 1'-0"

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM: REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 RESIDENTIAL BALCONY
- 4 EXTERIOR WALL: REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
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- 7 ROOF SCREEN
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- 9 SHAFT
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- 17 LINE OF BALCONIES ABOVE
- 18 PATIO DIVIDERS
- 19 BALCONY BELOW
- 20 FIRE DEPT KNOX SHUT OFF LOCATION
- 21 LINE OF SOLID WASTE STAGING AREA
- 22 STRUCTURAL SLAB AND TOPPING SLABOR PAVERS IN OPEN TO ABOVE SPACE TO BE SLOPE AT 2% FOR POSITIVE DRAINAGE.
- 23 FLOOR DRAIN AND OVERFLOW TO BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM

RESIDENTIAL UNITS COUNT:

4TH FLOOR: 37 UNITS	
STUDIOS	18
1BR	19
5TH FLOOR: 40 UNITS	
STUDIOS	20
1BR	20
6TH FLOOR: 34 UNITS	
STUDIOS	15
1BR	19
TOTAL:	
STUDIOS	53 (48%)
1BR	58 (52%)
	111



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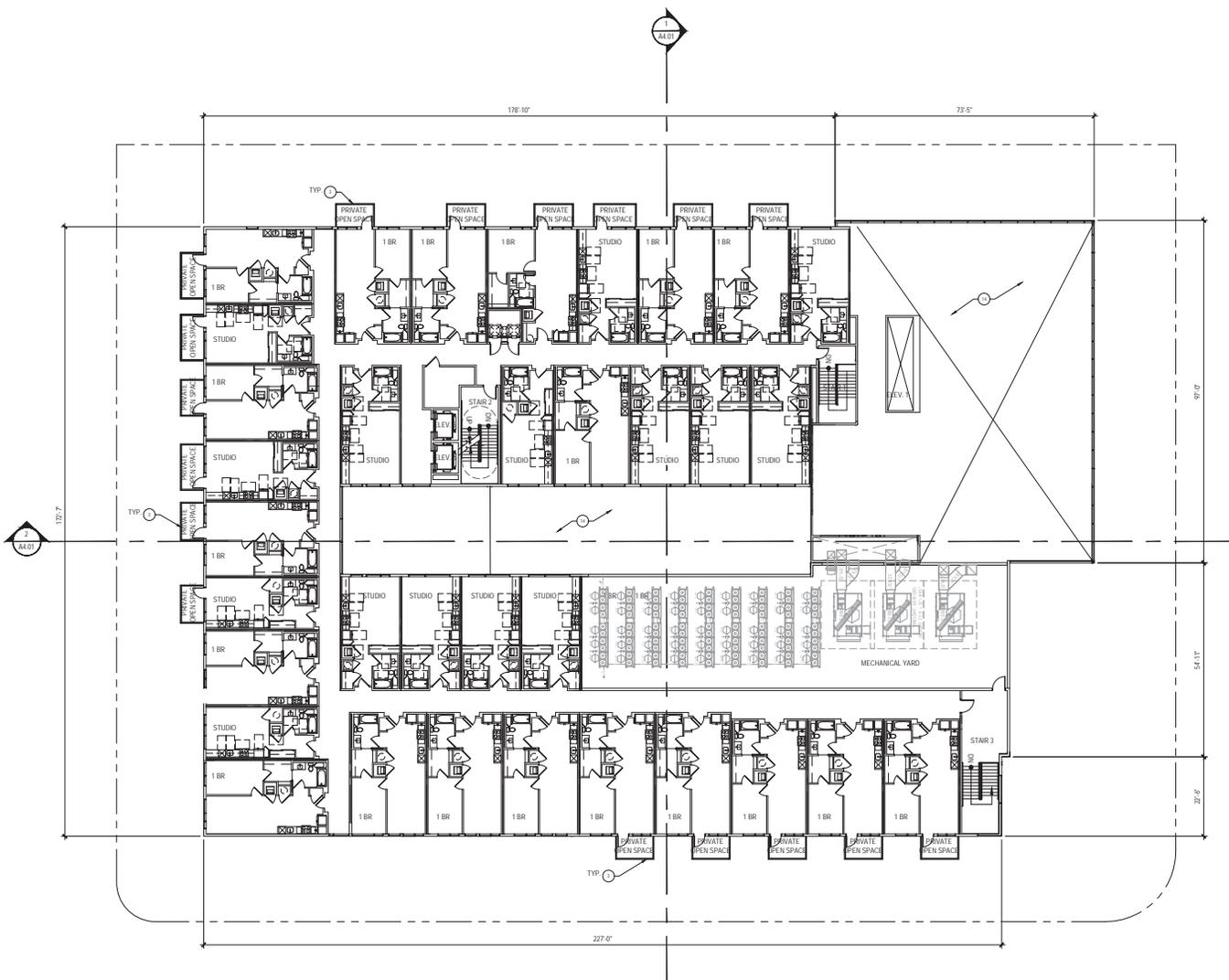
PLANNING APPLICATION FOR:
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SAN MATEO, CA 94401

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12/23/2021	2ND FORMAL PLANNING SUBMITTAL
03/24/2022	3RD FORMAL PLANNING SUBMITTAL

FOURTH LEVEL PLAN

A 2.04

PROJECT NO. 205207



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 RESIDENTIAL BALCONY
- 4 EXTERIOR WALL REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 EDGE OF BALCONY WITH 4" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 7 ROOF SCREEN
- 8 LONG TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA, SEE A1.01 FOR BICYCLE PARKING CALCULATIONS
- 9 SHAFT
- 10 NANOWALL GLASS PARTITION
- 11 EXIT PASSAGEWAY
- 12 RAMP DOWN TO BELOW GRADE PARKING
- 13 OPEN TO ABOVE
- 14 OPEN TO AREA BELOW AND ABOVE: ALL EXTERIOR WALLS TO COMPLY WITH APPLICABLE CODES.
- 15 TRASH CHUTE
- 16 LINE OF MEZZANINE ABOVE
- 17 LINE OF BALCONIES ABOVE
- 18 PATIO DIVIDERS
- 19 BALCONY BELOW
- 20 FIRE DEPT KNOX SHUT OFF LOCATION
- 21 LINE OF SOLID WASTE STAGING AREA
- 22 STRUCTURAL SLAB AND TOPPING SLABOR PAVERS IN OPEN TO ABOVE SPACE TO BE SLOPE TO MECHANICAL YARD

RESIDENTIAL UNITS COUNT:

4TH FLOOR: 37 UNITS
 STUDIOS 18
 1BR 19

5TH FLOOR: 40 UNITS
 STUDIOS 20
 1BR 20

6TH FLOOR: 34 UNITS
 STUDIOS 15
 1BR 19

TOTAL:
 STUDIOS 53 (48%)
 1BR 58 (52%)
 111

SIX LEVEL PLAN

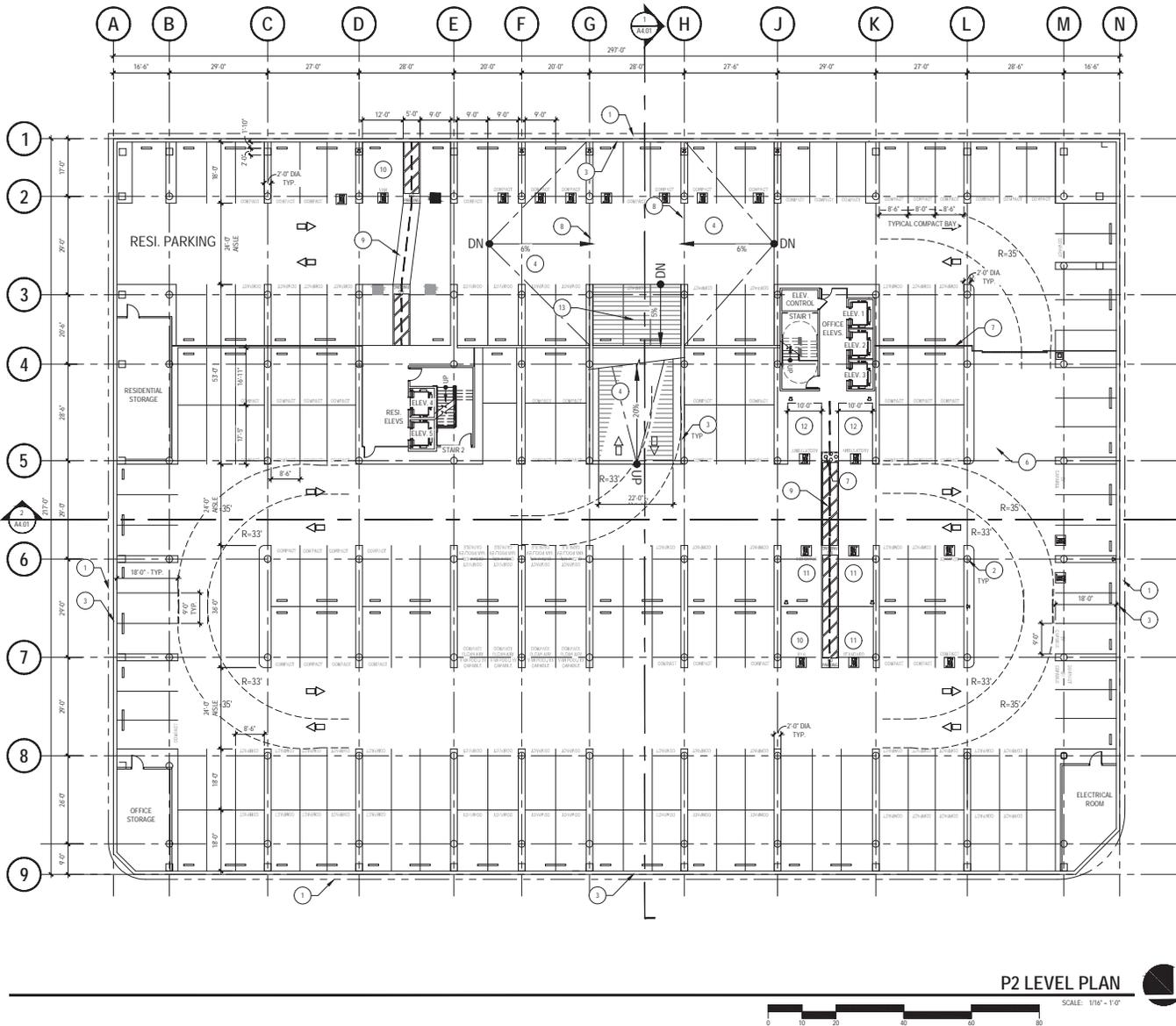
SCALE: 1/16" = 1'-0"



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PLANNING APPLICATION FOR:
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 SAN MATEO, CA 94401

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 12/23/2021 2ND FORMAL PLANNING SUBMITTAL
 03/29/2022 3RD FORMAL PLANNING SUBMITTAL



P2 LEVEL PLAN

SCALE: 1/16" = 1'-0"



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 PROPERTY LINE
- 2 CONCRETE COLUMN
- 3 CAST-IN-PLACE CONCRETE WALLS
- 4 CONCRETE RAMP
- 5 LONG-TERM SECURE OFFICE BICYCLE PARKING
- 6 MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
- 7 METAL FENCE
- 8 DASHED LINE INDICATES RAMP ABOVE
- 9 ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED
- 10 VAN ACCESSIBLE EVCS
- 11 STANDARD ACCESSIBLE EVCS
- 12 AMBULATORY EVCS
- 13 SLOPED PARKING SPACES BELOW RAMP ABOVE

FLOOR AREA

P1 LEVEL:	OFFICE:	64,346 SF
P2 LEVEL:	OFFICE:	44,573 SF
	RESIDENTIAL:	19,775 SF
	TOTAL AREA:	138,694 SF

PARKING CALCULATIONS

BELOW GRADE PARKING PROVIDED:

P1 LEVEL:	OFFICE - TANDEM/TANDEM COMPACT STALLS	37 SPACES
	OFFICE - STANDARD/COMPACT STALL STALLS ²	158 SPACES
	OFFICE - ADA/VAN ADA STALLS	8 SPACES
	TOTAL OFFICE PROVIDED:	203 SPACES
P2 LEVEL:	RESIDENTIAL - STANDARD/COMPACT STALL STALLS ²	50 SPACES
	RESIDENTIAL - ADA/VAN ADA STALLS	3 SPACES
	TOTAL RESIDENTIAL PROVIDED:	53 SPACES
	OFFICE - TANDEM/TANDEM COMPACT STALLS ²	105 SPACES
	OFFICE - STANDARD/COMPACT STALL STALLS	46 SPACES
	TOTAL OFFICE PROVIDED:	151 SPACES
	TOTAL PARKING PROVIDED:	407 SPACES

PARKING NOTES:
1. INCLUDES REQUIRED EV AND EVSE. SEE TABLE BELOW FOR SPECIFIC EV COUNTS.

PARKING ANALYSIS TABLE			REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	341	341	246
	TOTAL NUMBER OF ACCESSIBLE STALLS	6	6	6
	TOTAL NUMBER OF VAN ACCESSIBLE STALLS	2	2	2
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	56	56	56
	TOTAL NUMBER OF DEDICATED ACCESSIBLE STALLS	2	2	2
	TOTAL NUMBER OF DEDICATED VAN ACCESSIBLE STALLS	1	1	1

EV PARKING ANALYSIS TABLE			REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	341	341	346
	TOTAL NUMBER OF EV READY STALLS (EVSE) ¹	5%	15	18
	TOTAL NUMBER OF EV CAPABLE STALLS (EV) ²	10%-34	36	36
	TOTAL NUMBER OF EV VAN ACCESSIBLE ³	1	1	1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS ³	2	2	2
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	56	56	56
	TOTAL NUMBER OF EV READY STALLS (EVSE) ¹	15%-9	9	9
	TOTAL NUMBER OF EV VAN ACCESSIBLE STALLS ³	1	1	1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS ³	0	0	0

EV NOTES:
1. EV AND EVSE PER SMMC SECTION 23.70.040 FOR MULTIFAMILY AND 23.70.050 FOR COMMERCIAL.
2. PER CBC SECTION 5.106.5.2 AND TABLE 5.106.5.2 B/L/E, FE, CARPOOL/VANPOOL INCLUDED IN THE 10% DESIGNATED EV CAPABLE STALLS.
3. PER CBC TABLE 11B.228.3.2.1

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B.208.2)			REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B.208.2)		
TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT	TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
301-400	8	YES	51-75	3	YES

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PLANNING APPLICATION FOR:
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SAN MATEO, CA 94401

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03/29/2022 3RD FORMAL PLANNING SUBMITTAL

BD LEVEL PLAN
AB 2.12
PROJECT NO. 205207



3RD AVENUE - NORTH ELEVATION 6
SCALE: 1/16" = 1'-0"

KEYNOTES

- NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.
- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BLACK ALUMINUM FRAMES AND VERTICAL BUTT JOINTS
 - 2 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN BLACK ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
 - 3 RESIDENTIAL NAJ FN BLACK ALUMINUM WINDOWS
 - 4 EXTERIOR INSULATING FINISHING SYSTEM OVER METAL STUD FRAMING
 - 5 CEMENT FIBER BOARD PANEL RAIN SCREEN WITH REVEAL OVER METAL STUD FRAMING
 - 6 GLASS FIBER REINFORCED CONCRETE PANEL OVER METAL STUD FRAME
 - 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
 - 8 ALUMINUM AND GLASS BALCONY
 - 9 ENTRY/EXIT DOOR
 - 10 TEMPERED GLAZING GUARDRAIL
 - 11 ALUMINUM COMPOSITE METAL
 - 12 EXISTING PROPERTY LINE
 - 13 EXPRESSED MULLION
 - 14 ROUSED STREET WALL SETBACK PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED - ALLOWABLE INTRUSIONS ABOVE THE STREET WALL AREA ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING BALCONIES AND ARBORES
 - 15 CENTERLINE OF PUBLIC RIGHT OF WAY
 - 16 ENTRY TO BELOW GRADE PARKING STRUCTURE
 - 17 SECTIONAL OVERHEAD DOORS
 - 18 PATIO METAL TRELLIS SHADE

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- E1 EXTERIOR INSULATING FINISHING SYSTEM TO MATCH BM 1548 CLASSIC GREY
- GF GLASS FIBER REINFORCED CONCRETE TO MATCH BM 1552 RIVER REFLECTIONS
- G1 GLAZING* TYPE: 1" INSULATED LOW TINT
- G2 GLAZING* TYPE: 1" INSULATED GRAY TINT
- M1 ALUMINUM SUNSCREEN FINISH TO MATCH REINFORCED CONCRETE COLORWELDED 500 XL CHARCOAL
- M2 ALUMINUM SUNSCREEN OR FN FINISH TO MATCH REINFORCED CONCRETE STONE FINISHES ACIORD CORTLEN
- P1 PAINT OVER STUCCO FINISH TO MATCH BENJAMIN MOORE BM 1548 CLASSIC GREY
- P2 PAINT OVER STUCCO CEMENT BOARD BENJAMIN MOORE BM 1125 ACORN
- P3 PAINT OVER STUCCO CEMENT BOARD DUNN EDWARDS DE 4337 BLACK TIE LRV 6

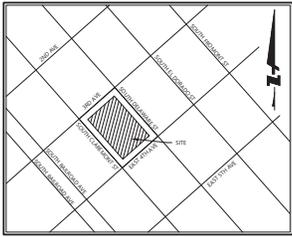
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S. CLAREMONT STREET - WEST ELEVATION 4
SCALE: 1/16" = 1'-0"



VICINITY MAP
 (NOT TO SCALE)

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

OF

BLOCK 21, AS DESIGNATED ON THAT CERTAIN MAP RECORDED JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45

AS DESCRIBED IN THE PRELIMINARY COMMITMENTS FOR TITLE INSURANCE REFERENCED HEREON, PREPARED BY:
 FIRST AMERICAN TITLE INSURANCE COMPANY



FEMA MAP DETAIL
 (NOT TO SCALE)

REFERENCED PRELIMINARY REPORTS FOR TITLE INSURANCE

TITLE COMPANY:	FIRST AMERICAN TITLE INSURANCE COMPANY
ORDER NO. - PTR 1:	NCS 103092-0M
ORDER NO. - PTR 2:	NCS 103174-0M
ORDER NO. - PTR 3:	NCS 103174-0M
ORDER NO. - PTR 4:	NCS 103174-0M
ORDER NO. - PTR 5:	NCS 103174-0M
ORDER NO. - PTR 6:	NCS 103174-0M
ORDER NO. - PTR 7:	NCS 103174-0M
ORDER NO. - PTR 8:	NCS 103175-0M

COMMITMENT DATE - PTR 1:	AUGUST 26, 2020 AT 7:30 A.M. AMENDED
COMMITMENT DATE - PTR 2:	SEPTEMBER 01, 2020 AT 7:30 A.M.
COMMITMENT DATE - PTR 3:	SEPTEMBER 01, 2020 AT 7:30 A.M.
COMMITMENT DATE - PTR 4:	SEPTEMBER 01, 2020 AT 7:30 A.M. AMENDED
COMMITMENT DATE - PTR 5:	DECEMBER 01, 2020 AT 7:30 A.M. JANUARY 14, 2021 UPDATE
COMMITMENT DATE - PTR 6:	DECEMBER 31, 2020 AT 7:30 A.M. FEBRUARY 24, 2021 UPDATE
COMMITMENT DATE - PTR 7:	SEPTEMBER 01, 2020 AT 7:30 A.M.
COMMITMENT DATE - PTR 8:	FEBRUARY 01, 2021 AT 7:30 A.M. FEBRUARY 23, 2021 UPDATE
COMMITMENT DATE - PTR 9:	DECEMBER 01, 2020 AT 7:30 A.M. JANUARY 05, 2021 UPDATE

NATURE OF TITLE - PTR 1, 3, 5 & 7-9:	FREE
NATURE OF TITLE - PTR 2:	FREE SIMPLE
NATURE OF TITLE - PTR 6:	FREE SIMPLE AS TO PARCEL ONE, AN EASEMENT AS TO PARCEL TWO AND THREE

TITLE VESTED IN - PTR 2:	MOREY GROSS, TRUSTEE OF THE 1988 MOREY GROSS REVOCABLE LIVING TRUST
TITLE VESTED IN - PTR 3:	MASTERTSON PROPERTIES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

TITLE VESTED IN - PTR 5:	CHRISTY LYNN ROBINSON AND SHERRY LEE BOSTIC, TRUSTEES OF THE JEANETTE ROBINSON 2014 TRUST
--------------------------	---

TITLE VESTED IN - PTR 4:	663 HOMER LLC, A LIMITED LIABILITY COMPANY
TITLE VESTED IN - PTR 5:	ROBNEY INVESTMENTS LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
TITLE VESTED IN - PTR 6:	CALIFORNIA ANTIQUE VENDING MACHINES, INC., A CALIFORNIA CORPORATION
TITLE VESTED IN - PTR 7:	LOWIN ENTERPRISES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

TITLE VESTED IN - PTR 8:	BARNAK PROPERTIES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
--------------------------	--

TITLE VESTED IN - PTR 9:	ELENOR KUN LEE, TRUSTEE OF THE FONG HOM LEE AND ELENOR KUN LEE DECLARATION OF TRUST DATED NOVEMBER 3, 2004, AN UNDIVIDED TWENTY-FIVE PERCENT (25%) INTEREST
--------------------------	---

TITLE VESTED IN - PTR 5:	RENE LEE, TRUSTEE OF THE SURVIVOR'S TRUST OF THE LEE REVOCABLE LIVING TRUST DATED OCTOBER 4, 1985, AN UNDIVIDED 25% INTEREST
--------------------------	--

TITLE VESTED IN - PTR 6:	BILLY TOM LEE, AS HIS SOLE AND SEPARATE PROPERTY, AN UNDIVIDED TWENTY-FIVE PERCENT (25%) INTEREST; AND
--------------------------	--

TITLE VESTED IN - PTR 8:	AS TO AN UNDIVIDED TWENTY-FIVE PERCENT (25%) INTEREST: (A) TO WAJ JEN LEE, TRUSTEE OF THE WAJ JEN LEE TRUST DATED DECEMBER 21, 1996, AN UNDIVIDED SEVEN-NINTHS (7/9) INTEREST OF THE 25% UNDIVIDED INTEREST, AND (B) TO JENNIFER HOW LEE, AS HIS SOLE AND SEPARATE PROPERTY, AN UNDIVIDED TWO-NINTHS (2/9) INTEREST OF THE 25% UNDIVIDED INTEREST
--------------------------	---

PROPERTY ADDRESS - PTR 1:	525 6437 4TH AVENUE, SAN MATEO, CA
PROPERTY ADDRESS - PTR 2:	300 SOUTH DELAWARE STREET, SAN MATEO, CA
PROPERTY ADDRESS - PTR 3:	312-320 SOUTH DELAWARE STREET, SAN MATEO, CA
PROPERTY ADDRESS - PTR 4:	318 SOUTH DELAWARE STREET, SAN MATEO, CA
PROPERTY ADDRESS - PTR 5:	504.505.507.509.511.517 & 519, EAST 4TH AVENUE AND, 397 SOUTH CLAREMONT STREET, SAN MATEO, CA
PROPERTY ADDRESS - PTR 6:	373 SOUTH CLAREMONT STREET, SAN MATEO, CA
PROPERTY ADDRESS - PTR 7:	313 SOUTH CLAREMONT STREET, AND VACANT LAND, SAN MATEO, CA
PROPERTY ADDRESS - PTR 8:	307 SOUTH CLAREMONT STREET, SAN MATEO, CA
PROPERTY ADDRESS - PTR 9:	500-520 EAST 3RD AVENUE, SAN MATEO, CA

ASSESSOR'S PARCEL NO. - PTR 1:	034-185-170
ASSESSOR'S PARCEL NO. - PTR 2:	034-185-180
ASSESSOR'S PARCEL NO. - PTR 3:	034-185-030 (AFFECTS PARCEL 1), 034-185-050 (AFFECTS PARCEL 2)
ASSESSOR'S PARCEL NO. - PTR 4:	034-185-040
ASSESSOR'S PARCEL NO. - PTR 5:	034-185-100
ASSESSOR'S PARCEL NO. - PTR 6:	034-185-140
ASSESSOR'S PARCEL NO. - PTR 7:	034-185-190 (AFFECTS PARCEL ONE), 034-185-200 (AFFECTS PARCEL TWO)
ASSESSOR'S PARCEL NO. - PTR 8:	034-185-110
ASSESSOR'S PARCEL NO. - PTR 9:	034-185-120

OVERALL SITE INFORMATION

FLOOD ZONE:	ZONE X - AREA OF MINIMAL FLOOD HAZARD
FEMA FLOOD INSURANCE RATE MAP NUMBER:	06081C01546
EFFECTIVE DATE:	APRIL 5, 2019
DATE ACQUIRED:	AUGUST 10, 2021

LEGAL DESCRIPTION - PTR 1

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 1, BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45.

EXCEPTING THEREFROM THAT PORTION THEREOF CONDEMNATED TO THE CITY OF SAN MATEO BY DECREE RECORDED JANUARY 05, 1971, AS BOOK 5880, PAGE 588 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE MOST EASTERN CORNER OF SAID LOT 1, SAID CORNER ALSO BEING THE INTERSECTION OF THE SOUTHWESTERLY LINE OF SOUTH DELAWARE STREET, AND THE NORTHWESTERLY LINE OF FOURTH AVENUE; THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF FOURTH AVENUE 11.00 FEET TO A POINT OF CURVE; THENCE NORTHWESTERLY 11.28 FEET ALONG A TANGENT CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 11.00 FEET TO THE SOUTHWESTERLY LINE OF SOUTH DELAWARE STREET; THENCE SOUTHEASTERLY TANGENT TO THE PRECEDING CURVE, ALONG THE SOUTHWESTERLY LINE OF SOUTH DELAWARE STREET 11.00 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION - PTR 2

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 5 AND 6 IN BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY ENTERED IN LIBER 1 OF MAPS AT PAGE 45.

EXCEPTING THEREFROM, HOWEVER, SUCH PORTION THEREOF WHICH WAS VESTED IN THE CITY OF SAN MATEO PURSUANT TO THE FINAL JUDGMENT OF CONDEMNATION RECORDED ON JANUARY 5, 1971 IN THE OFFICIAL RECORDS OF SAN MATEO COUNTY IN VOLUME 5880, PAGE 588.

LEGAL DESCRIPTION - PTR 3

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
 LOT 4 IN BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45.

PARCEL 2:
 LOT 2 IN BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45.

LEGAL DESCRIPTION - PTR 4

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 3 IN BLOCK 21 AS SHOWN ON THE MAP ENTITLED, "TOWN OF SAN MATEO IN THE CITY OF SAN MATEO", COUNTY OF SAN MATEO, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED JANUARY 24, 1862 IN BOOK 2 OF MAPS, PAGE 95 AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45 OF THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY.

LEGAL DESCRIPTION - PTR 5

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 12 AND THE SOUTHWESTERLY 2 FEET FRONT AND REAR MEASUREMENTS OF LOT 11, BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED, "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDS OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON JANUARY 24, 1862, MISCELLANEOUS RECORDS 2, PAGE 95, AND COPIED INTO MAP BOOK 1, PAGES 45, SAN MATEO COUNTY RECORDS.

LEGAL DESCRIPTION - PTR 6

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:
 THE NORTHWESTERLY 25 FEET FRONT AND REAR MEASUREMENTS OF LOT 11 IN BLOCK 21, AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON JANUARY 24, 1862 IN BOOK 2 OF MAPS AT PAGES 95, AND COPIED INTO BOOK 1 OF MAPS AT PAGE 45.

PARCEL TWO:

A NON-CONCLUSIVE EASEMENT FOR WALKWAY, PUBLIC UTILITIES AND LIGHT AND AIR APPURTENANT TO PARCEL 1 ABOVE AS GRANTED TO HERBERT W. WALCOTT, ET UX, BY DEED RECORDED DECEMBER 15, 1964, BOOK 4857 OF PAGE 400 OVER AND ACROSS A STRIP OF LAND DESCRIBED AS FOLLOWS:

A PORTION OF LOT 11, BLOCK 21, MAP OF THE TOWN OF SAN MATEO, FILED JANUARY 24, 1862, MAP BOOK 2, PAGE 95, AND A COPY ENTERED IN MAP BOOK 1, PAGE 45, SAN MATEO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF SOUTH CLAREMONT STREET, DISTANT THEREON 26 FEET SOUTHWESTERLY FROM THE INTERSECTION THEREOF WITH THE NORTHWESTERLY LINE OF SAID LOT 11; THENCE CONTINUING SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SOUTH CLAREMONT STREET, 370 FEET; THENCE AT RIGHT ANGLES NORTHWESTERLY 60.00 FEET; THENCE AT RIGHT ANGLES NORTHWESTERLY 3.70 FEET; THENCE AT RIGHT ANGLES SOUTHWESTERLY 69.00 FEET TO THE POINT OF BEGINNING.

PARCEL THREE:
 THE RIGHT OF USE OF A RAIN GUTTER AND DOWN SPOUT, FOR THE DISPOSAL OF RAIN WATER, EXTENDING ALONG THE ENTIRE LENGTH OF THE SOUTHWESTERLY LINE OF THE ABOVE DESCRIBED PROPERTY AND LYING WITHIN THE BOUNDARY OF GRANITOS REMAINING PROPERTY.

LEGAL DESCRIPTION - PTR 7

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:
 COMMENCING AT A POINT ON THE EASTERN LINE OF SOUTH CLAREMONT STREET, DESIGNATED AS "C" STREET ON THE MAP HEREINAFTER MENTIONED, DISTANT THEREON ONE HUNDRED THIRTY (130) FEET SOUTHERLY FROM THE POINT OF INTERSECTION THEREWITH OF THE SOUTHERLY LINE OF THIRD AVENUE, AND RUNNING THENCE AT RIGHT ANGLES TO SAID LINE OF SOUTH CLAREMONT STREET EASTERLY ONE HUNDRED THIRTY (130) FEET TO THE EASTERN LINE OF LOT 12 AS THE HEREINAFTER MENTIONED

AND THENCE SOUTHERLY AND ALONG SAID EASTERLY LINE OF SAID LOT (9) FORTY-SEVEN (47) FEET MORE OR LESS TO THE CORNER COMMON TO LOTS THREE (3) AND FOUR (4), NINE (9) AND TEN (10) IN BLOCK (21), HEREINAFTER DESCRIBED; THENCE AT A RIGHT ANGLE WESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT (9) ONE HUNDRED THIRTY (130) FEET TO SAID EASTERLY LINE OF SAID SOUTH CLAREMONT STREET; THENCE NORTHWESTERLY AND ALONG SAID LINE OF SAID SOUTH CLAREMONT STREET FORTY-SEVEN (47) FEET TO THE POINT OF COMMENCEMENT.

BEING A PORTION OF LOT NINE (9) IN BLOCK TWENTY ONE (21) OF THE TOWN OF SAN MATEO, AS SHOWN AND DELINEATED UPON THAT CERTAIN MAP ON PLAT OF THE TOWN OF SAN MATEO, AS LAID OUT BY C. B. POLKMAN; AND RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN MATEO, STATE APPROVED, IN BOOK 2 OF MISCELLANEOUS RECORDS, AT PAGE 95.

PARCEL TWO:
 LOT 10, BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDS OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY IN BOOK 1 OF MAPS AT PAGE 45.

LEGAL DESCRIPTION - PTR 8
 REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 LOT 8 AND THE NORTHWESTERLY 3 FEET FRONT AND REAR MEASUREMENTS OF LOT 9, BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDS OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY IN BOOK 1 OF MAPS AT PAGE 45.

LEGAL DESCRIPTION - PTR 9

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 8 AND THE NORTHWESTERLY 3 FEET FRONT AND REAR MEASUREMENTS OF LOT 9, BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDS OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95 AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45.

LEGAL DESCRIPTION - PTR 9

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 1 IN BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDS OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95 AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45.

EXCEPTIONS TO COVERAGE - PTR 1

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER

3. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

4. WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY, AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY.
NOT A SURVEY MATTER

5. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER

6. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER

7. RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 2

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER

3. AN OIL AND GAS LEASE EXECUTED BY TERENCE H. MASTERTSON, ALSO KNOWN AS TERENCE HUGH MASTERTSON AND MARTHA E. MASTERTSON, HIS WIFE AS LESSOR AND RICHARD OIL CORPORATION, A CORPORATION AS LESSEE, RECORDED MARCH 24, 1959 AS BOOK 3547, PAGE 507 OF OFFICIAL RECORDS.

DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASHOOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREIN.

DOCUMENTS DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 10, 1990 AS INSTRUMENT NO. 90-160278 OF OFFICIAL RECORDS.
PLOTTED - BLANKET IN NATURE OVER PTR 2 PARCEL

4. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

5. WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY, AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY.
NOT A SURVEY MATTER

6. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER

7. RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 3

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER

3. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 1981-65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

4. WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY, AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY.
NOT A SURVEY MATTER

5. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER

6. RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 4

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER

3. AN EASEMENT FOR UNDISCLOSED AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED MARCH 14, 1952 AS INSTRUMENT NO. 90736-4, 1 BOOK/REEL 2275, PAGE/IMAGE 452 OF OFFICIAL RECORDS.

4. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717 OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

5. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$300,000.00 RECORDED FEBRUARY 04, 2005 AS INSTRUMENT NO. 2005-019172 OF OFFICIAL RECORDS.

DATED:	JANUARY 31, 2005
TRUSTOR:	AMIR SHAHRIKHA AND KRISTINE SHAHRIKHA, HUSBAND AND WIFE AS JOINT TENANTS
TRUSTEE:	ALLIANCE TITLE OF AMERICA, INC.
BENEFICIARY:	MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC. ("EMRS"), AS NOMINEE FOR
LENDER:	INDYMAC BANK, F.S.B., A FEDERALLY CHARTERED SAVINGS BANK

DOCUMENT STATES THAT IT IS FOR CROSS-DEFAULT/CROSS-COLLATERALIZATION.

ACCORDING TO THE PUBLIC RECORDS, THE BENEFICIAL INTEREST UNDER THE DEED OF TRUST WAS ASSIGNED TO DEUTSCHE BANK NATIONAL TRUST COMPANY, AS TRUSTEE OF THE INDIANAC INDY MORTGAGE LOAN TRUST 2005-486, MORTGAGE PASS THROUGH CERTIFICATES, SERIES 2005-486 UNDER THE POOLING AND SERVICING AGREEMENT DATED MARCH 1, 2005 BY ASSIGNMENT RECORDED JANUARY 19, 2011 AS INSTRUMENT NO. 2011-094849 OF OFFICIAL RECORDS.

A DOCUMENT RECORDED JANUARY 30, 2011 AS INSTRUMENT NO. 2011-087528 OF OFFICIAL RECORDS PROVIDES THAT AZTEC FORECLOSURE CORPORATION WAS SUBSTITUTED AS TRUSTEE UNDER THE DEED OF TRUST.
NOT A SURVEY MATTER

6. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$775,000.00 RECORDED JULY 17, 2015 AS INSTRUMENT NO. 2015-075654 OF OFFICIAL RECORDS.

DATED:	JULY 14, 2015
TRUSTOR:	663 HOMER, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
TRUSTEE:	CHICAGO TITLE COMPANY, A CALIFORNIA CORPORATION
BENEFICIARY:	AMAI/INC., A CALIFORNIA CORPORATION

A DOCUMENT RECORDED MAY 21, 2020 AS INSTRUMENT NO. 2020-046504 OF OFFICIAL RECORD

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

OF

BLOCK 21, AS DESIGNATED ON THAT CERTAIN MAP RECORDED JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45

AS DESCRIBED IN THE PRELIMINARY COMMITMENTS FOR TITLE INSURANCE REFERENCED HEREON, PREPARED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY

EXCEPTIONS TO COVERAGE - PTR 5

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER
- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.
FIRST INSTALLMENT: \$28,011.96, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$28,011.96, OPEN
PENALTY: \$0.00
TAX RATE AREA: 12-023
A. P. NO.: 034-185-130
NOT A SURVEY MATTER
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER
- AN EASEMENT FOR RIGHT TO USE A PARTY WALL RIGHT TO USE THAT PORTION OF A RAIN GUTTER AND INCIDENTAL PURPOSES, RECORDED DECEMBER 15, 1964 AS INSTRUMENT NO. 97729-X IN BOOK/FREE 4859, PAGE/IMAGE 420 OF OFFICIAL RECORDS.
IN FAVOR OF: CARLO MICHELETTI AND LOUISE MICHELETTI, HIS WIFE AS JOINT TENANTS
AFFECTS: NORTHWESTERLY PORTION OF SAID LAND
PLOTTED
- THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER
- A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$1,500,000.00 RECORDED JUNE 30, 2010 AS INSTRUMENT NO. 2010-07147 OF OFFICIAL RECORDS.
DATED: JUNE 24, 2010
TRUSTOR: ZAG WIND VFP AND DIANN L YIP
TRUSTEE: AMERICAN SECURITIES COMPANY, A CORPORATION
BENEFICIARY: WELLS FARGO BANK, NATIONAL ASSOCIATION
A DOCUMENT RECORDED NOVEMBER 10, 2015 AS INSTRUMENT NO. 2015-118408 OF OFFICIAL RECORDS PROVIDES THAT THE DEED OF TRUST OR THE OBLIGATION SECURED THEREBY HAS BEEN MOORFED.
NOT A SURVEY MATTER
- THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER
- ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. *****§§962) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. *****§§960) OR UNDER SIMILAR STATE LAWS.
NOT A SURVEY MATTER
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER
- RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 6

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER
- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.
FIRST INSTALLMENT: \$2,295.18, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$2,295.18, OPEN
PENALTY: \$0.00
TAX RATE AREA: 12-023
A. P. NO.: 034-185-140
NOT A SURVEY MATTER
- THE LIEN OF DEFAULATED TAXES FOR THE FISCAL YEAR 2015, AND ANY SUBSEQUENT DELINQUENCIES.
TAX RATE AREA: 12-023
A. P. NO.: 034-185-140
AMOUNT TO REDEEM: \$38,424.90
VALID THROUGH: FEBRUARY, 2021
AMOUNT TO REDEEM: \$39,701.35
VALID THROUGH: MARCH 31, 2021
PLEASE CONTACT THE TAX OFFICE TO VERIFY THE PAYOFF AMOUNT.
NOT A SURVEY MATTER
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER
- AN EASEMENT FOR THE RIGHT TO USE A PARTY WALL AND THAT PORTION OF A RAIN GUTTER AND INCIDENTAL PURPOSES, RECORDED DECEMBER 15, 1964 AS INSTRUMENT NO. 97729-X IN BOOK/FREE 4859, PAGE/IMAGE 420 OF OFFICIAL RECORDS.
IN FAVOR OF: CARLO MICHELETTI AND LOUISE MICHELETTI
ALONG THE SOUTHWESTERLY LINE OF THE HEREIN DESCRIBED PROPERTY, AND EXTENDING SOUTHWESTERLY 41.00 FEET FROM THE NORTHEASTERLY LINE THEREOF
PLOTTED
- THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

- A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$100,000.00 RECORDED APRIL 10, 1986 AS INSTRUMENT NO. 8603761 OF OFFICIAL RECORDS.
DATED: APRIL 01, 1986
TRUSTOR: CALIFORNIA ANTIQUE VENDING MACHINES, INC., A CALIFORNIA CORPORATION
TRUSTEE: WESTERN TITLE INSURANCE COMPANY, A CORPORATION
BENEFICIARY: COLONIAL SAVINGS AND LOAN ASSOCIATION OF WESTERN KANSAS
ACCORDING TO THE PUBLIC RECORDS, THE BENEFICIAL INTEREST UNDER THE DEED OF TRUST WAS ASSIGNED TO JAY M. KAPLAN AND DALE L. KAPLAN, CO-TRUSTEES OF THE KAPLAN 1982 REVOCABLE TRUST BY ASSIGNMENT RECORDED SEPTEMBER 08, 1993 AS INSTRUMENT NO. 93151918 OF OFFICIAL RECORDS.
A DOCUMENT RECORDED NOVEMBER 16, 1994 AS INSTRUMENT NO. 94-175360 OF OFFICIAL RECORDS PROVIDES THAT ERIC D. HORODAS WAS SUBSTITUTED AS TRUSTEE UNDER THE DEED OF TRUST.
NOT A SURVEY MATTER
- A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$38,000.00 RECORDED APRIL 10, 1986 AS INSTRUMENT NO. 8603764 OF OFFICIAL RECORDS.
DATED: MARCH 26, 1986
TRUSTOR: CALIFORNIA ANTIQUE VENDING MACHINES, INC., A CALIFORNIA CORPORATION
TRUSTEE: WESTERN TITLE INSURANCE COMPANY, A CORPORATION
BENEFICIARY: CARL H. STINSON, A MARRIED MAN
NOT A SURVEY MATTER
- A FINANCING STATEMENT RECORDED APRIL 10, 1986 AS INSTRUMENT NO. 86037644 OF OFFICIAL RECORDS.
DEBTOR: CALIFORNIA ANTIQUE VENDING MACHINES, INC.
SECURED PARTY: COLONIAL SAVINGS AND LOAN ASSOCIATION OF WESTERN KANSAS
NOT A SURVEY MATTER
- A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$58,000.00 RECORDED APRIL 23, 1993 AS INSTRUMENT NO. 9308859 OF OFFICIAL RECORDS.
DATED: SEPTEMBER 04, 1991
TRUSTOR: CALIFORNIA ANTIQUE VENDING MACHINES INC.
TRUSTEE: ROBERT B. HAHN INC., A CALIFORNIA CORPORATION
BENEFICIARY: KAPLAN 1982 REVOCABLE TRUST
A DOCUMENT RECORDED NOVEMBER 16, 1994 AS INSTRUMENT NO. 94-175367 OF OFFICIAL RECORDS PROVIDES THAT ERIC D. HORODAS WAS SUBSTITUTED AS TRUSTEE UNDER THE DEED OF TRUST.
NOT A SURVEY MATTER
- THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER
- A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$401,446.00 RECORDED JUNE 11, 2005 AS INSTRUMENT NO. 2005-09762 OF OFFICIAL RECORDS.
DATED: MAY 31, 2005
TRUSTOR: CALIFORNIA ANTIQUE VENDING MACHINES, INC.
TRUSTEE: FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION
BENEFICIARY: CHARLES MARCOSSO AND JEANNE MARCOSSO
NOT A SURVEY MATTER
- A CERTIFIED COPY OF A JUDGMENT OR AN ABSTRACT THEREOF, RECORDED NOVEMBER 16, 2011 AS INSTRUMENT NO. 2011-138337 OF OFFICIAL RECORDS.
COURT: SUPERIOR COURT OF CALIFORNIA, COUNTY OF SAN MATEO
CASE NO.: CV492637
DEBTOR: STEPHEN L. SQUIRES AND CALIFORNIA ANTIQUE VENDING MACHINES, INC.
CREDITOR: JEANNE MARCOSSO
AMOUNT: \$871,575.00, AND ANY OTHER AMOUNTS DUE THEREUNDER.
THE LIEN OF THE JUDGMENT HAS BEEN EXTENDED AS EVIDENCED BY THE DOCUMENT RECORDED AUGUST 04, 2020 AS INSTRUMENT NO. 2020-07648 OF OFFICIAL RECORDS.
NOT A SURVEY MATTER
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER
- RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 7

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER
- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER
- A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$17,340.00 RECORDED MARCH 31, 1980 AS INSTRUMENT NO. 839884P IN REEL 7948, IMAGE 2127 OF OFFICIAL RECORDS.
DATED: MARCH 01, 1980
TRUSTOR: WARD D. ANDERSON III, A MARRIED MAN
TRUSTEE: TITLE INSURANCE AND TRUST COMPANY, A CALIFORNIA CORPORATION
BENEFICIARY: WILLIAM WATSON
CONSIDERATION FOR THE DELETION OF THIS EXCEPTION IS HIGHLY FACT INTENSIVE. PLEASE CONTACT THE UNDERWRITER ASSIGNED TO YOUR FILE AS SOON AS POSSIBLE TO DISCUSS.
NOT A SURVEY MATTER
- RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

- (AFFECTS PARCEL TWO)
NOT A SURVEY MATTER
- THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
(AFFECTS BOTH PARCELS)
NOT A SURVEY MATTER
- A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$500,000.00 RECORDED JULY 24, 2013 AS INSTRUMENT NO. 2013-108059 OF OFFICIAL RECORDS.
DATED: JULY 12, 2013
TRUSTOR: LOWIN ENTERPRISES, LLC A CALIFORNIA LIMITED LIABILITY COMPANY
TRUSTEE: FIDELITY NATIONAL TITLE INSURANCE COMPANY
BENEFICIARY: FIRST REPUBLIC BANK WHICH IS ORGANIZED AND EXISTING UNDER THE LAWS OF CALIFORNIA
(AFFECTS BOTH PARCELS)
DOCUMENT STATES THAT IT IS FOR CROSS-DEFAULT/CROSS-COLLATERALIZATION.
THE ABOVE DEED OF TRUST STATES THAT IT SECURES AN EQUITY LINE/REVOLVING LINE OF CREDIT, PRIOR TO THE PAYMENT AND SURRENDER OF THE EQUITY LINE/REVOLVING LINE OF CREDIT, AN INSTRUCTION TO SURREINDEER AND CLOSE THE EQUITY LINE/REVOLVING LINE OF CREDIT PURSUANT TO CA CIVIL CODE SECTION 2943.1 MUST BE EXECUTED BY THE BORROWER.
NOT A SURVEY MATTER
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "CITY OF SAN MATEO PLANNING DIVISION CONDITIONS OF APPROVAL" RECORDED AUGUST 23, 2017 AS INSTRUMENT NO. 2017-074032 OF OFFICIAL RECORDS.
(AFFECTS BOTH PARCELS)
NOT A SURVEY MATTER
- THIS TRANSACTION MAY BE SUBJECT TO A GEOGRAPHIC TARGETING ORDER ("GTO") ISSUED PURSUANT TO THE BANK SECRECY ACT INFORMATION NECESSARY TO COMPLY WITH THE GTO MUST BE PROVIDED PRIOR TO THE CLOSING. THIS TRANSACTION WILL NOT BE INSURED UNTIL THIS INFORMATION IS SUBMITTED, REVIEWED AND FOUND TO BE COMPLETE.
(AFFECTS PARCEL ONE)
NOT A SURVEY MATTER
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER
- RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 8

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER
- THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER
- THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER
- WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY.
NOT A SURVEY MATTER
- RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 9

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER
- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.
FIRST INSTALLMENT: \$10,375.62, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$10,375.62, OPEN
PENALTY: \$0.00
TAX RATE AREA: 12-023
A. P. NO.: 034-185-120
NOT A SURVEY MATTER
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER
- THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER
- THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER

- WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY.
NOT A SURVEY MATTER
 - ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. *****§§962) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. *****§§960) OR UNDER SIMILAR STATE LAWS.
CONSIDERATION FOR THE DELETION OF THIS EXCEPTION IS HIGHLY FACT INTENSIVE. PLEASE CONTACT THE UNDERWRITER ASSIGNED TO YOUR FILE AS SOON AS POSSIBLE TO DISCUSS.
NOT A SURVEY MATTER
 - WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER
 - THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER
 - RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER
- ### ALTA SURVEY NOTES
- THE BOLDTYPE COMMENTS ARE ADDED BY THE PROFESSIONAL LAND SURVEYOR.
 - ALL DISTANCES AND DIMENSIONS ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF.
 - ALL DISTANCES ARE TO THE CENTERLINE OF THE SUBJECT PROPERTY.
 - "IN" AND "OUT" AS SHOWN ON THIS SURVEY INDICATE THE DISTANCE INSIDE OR OUTSIDE OF THE SUBJECT PROPERTY, RESPECTIVELY.
 - THE DATES OF THE FIELD SURVEY ARE AS FOLLOWS: OCTOBER 21, 2020, OCTOBER 23, 2020, AND MARCH 31, 2021.
 - THE SUBJECT PROPERTIES HAVE DIRECT VEHICULAR ACCESS TO AND FROM SOUTH CLAREMONT STREET, EAST 3RD AVENUE, SOUTH DELAWARE STREET, AND/OR EAST 4TH AVENUE, PUBLICLY DEDICATED RIGHTS-OF-WAY, AS SHOWN ON THE SURVEY HEREON WHERE INDICATED BY ARROW LABELLED "SITE ACCESS".
 - IN REFERENCE TO ITEM 2 OF TABLE "A", THE ADDRESSES OF THE SUBJECT PROPERTIES ARE AS SHOWN ON SHEET 1 OF THIS SURVEY.
 - IN REFERENCE TO ITEM 3 OF TABLE "A", THE SUBJECT PROPERTY HAS BEEN DETERMINED TO BE WITHIN FLOOD ZONE "X", AS SHOWN ON SHEET 1 OF THIS SURVEY.
 - IN REFERENCE TO ITEM 4 OF TABLE "A", THE GROSS LAND AREA OF THE SUBJECT PROPERTIES ARE AS SHOWN ON SHEET 3 OF THIS SURVEY.
 - IN REFERENCE TO ITEM 8 OF TABLE "A", AS SHOWN ON THE SURVEY HEREON.
 - IN REFERENCE TO ITEM 13 OF TABLE "A", AS SHOWN ON THE SURVEY HEREON.
 - IN REFERENCE TO ITEM 14 OF TABLE "A", THE SUBJECT BLOCK IS BOUNDED BY SOUTH CLAREMONT STREET, EAST 3RD AVENUE, SOUTH DELAWARE STREET AND EAST 4TH AVENUE.
 - IN REFERENCE TO ITEM 16 OF TABLE "A", NO EVIDENCE OF RECENT EARTH MOVING WORK OR BUILDING CONSTRUCTION WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
 - IN REFERENCE TO ITEM 17 OF TABLE "A", NO EVIDENCE OF RECENT OR PROPOSED STREET RIGHT OF WAY CHANGES WERE OBSERVED IN THE PROCESS OF COMPLETING THE FIELD SURVEY, NOR PROVIDED TO THE UNDERSIGNED SURVEYOR.

UTILITY STATEMENT

UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON SURVEY OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTORS SHALL VERIFY ALL UTILITIES PRIOR TO ANY AND ALL CONSTRUCTION ACTIVITIES.

BASE OF BEARINGS

THE BEARING OF NORTHWBBP.....ALONG THE CENTERLINE OF SOUTH DELAWARE STREET, AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 20, 2019 IN BOOK 85 OF PARCEL MAPS AT PAGES 21-29, OFFICIAL RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYORS STATEMENT

TO: WINDY HILL PROPERTY VENTURES
TO: FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/N.S.P.S. LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS, AND INCLUDES OFFICIAL ITEMS 2, 3, 4, 8, 13, 14, 16, AND 17 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON MARCH 31, 2021.

DAVID C. JUNGSMANN, P.L.S. 9327

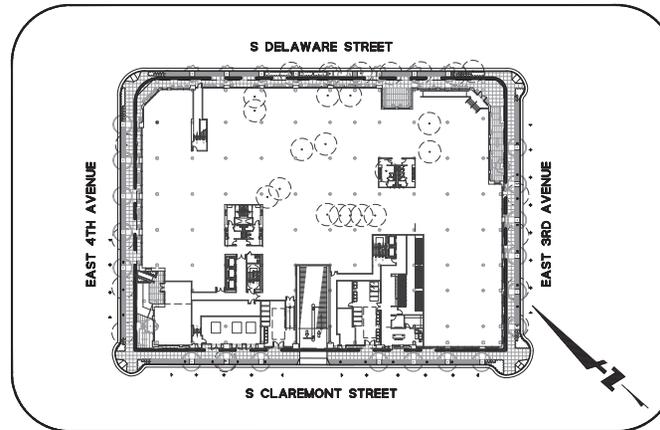


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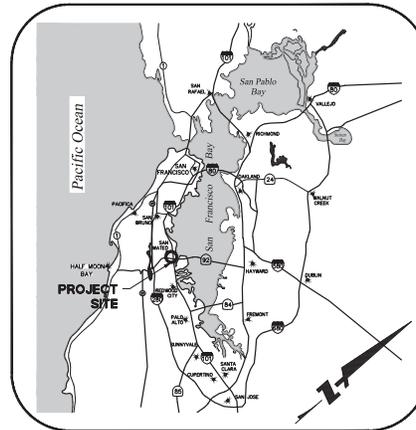
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DATE PRINTED: 2020-08-20 11:54:11 AM
DRAWING NO.: 2020-08-20-01-ALTA-0033
JOB NO.: 2020-08-20-01-ALTA-0033
JOB NAME: 255 SHORELINE DR., SUITE 200, SAN MATEO CITY, CA 94065 (650) 482-8370 www.bkf.com

BLOCK 21 PLANNING SUBMITTAL

CITY OF SAN MATEO, SAN MATEO COUNTY, CALIFORNIA



SITE PLAN
SCALE: 1"=50'



LOCATION MAP
NTS

SHEET INDEX	
Sheet Number	Sheet Title
C1.01	TITLE SHEET
C1.02	NOTES, LEGEND & ABBREVIATIONS
C2.01	EXISTING CONDITIONS
C2.02	PRELIMINARY PARCEL MAP
C3.01	PRELIMINARY HORIZONTAL CONTROL PLAN
C4.01	PRELIMINARY GRADING PLAN
C5.01	PRELIMINARY UTILITY PLAN
C6.01	PRELIMINARY STORMWATER CONTROL PLAN
C6.02	PRELIMINARY SWCP NOTES

PROJECT BENCHMARK
BASIS OF ELEVATION:

THE ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED VERTICAL DATUM. BKF CONTROL POINT #10, A CUT CROSS IN CONCRETE IN THE NORTHWESTERLY RIGHT OF WAY OF 3RD AVENUE, WAS TAKEN AS THE SITE BENCHMARK FOR THIS PROJECT

BKF CONTROL POINT #10 ELEVATION = 100.00'

BASIS OF BEARINGS

THE BEARING OF NORTH 4128°00" WEST ALONG THE CENTERLINE OF SOUTH DELAWARE STREET, AS SHOWN ON THAT CERTAIN PARCEL MAP 469 RECORDED DECEMBER 26, 2019 IN BOOK 85 OF PARCEL MAPS AT PAGES 21-22, OFFICIAL RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

PROJECT SUMMARY

APPLICANT	MICHAEL FIELD WINDY HILL PROPERTY VENTURES 530 EMERSON STREET, SUITE 150 PALO ALTO, CA 94301 650.847.1266
ARCHITECT	EVAN SOCKALOSKY ARCHITECTURAL TECHNOLOGIES 1731 TECHNOLOGY DRIVE, SUITE 750 SAN JOSE, CA 95110 408.496.0676
LANDSCAPE ARCHITECT	MATT HAWKS KLA INCORPORATED 151 S NORLIN STREET SONOMA, CA 95370 209.532.2856
CIVIL ENGINEER	ALYSSA JACOBSON, PE BKF ENGINEERS 150 CALIFORNIA STREET, SUITE 600 SAN FRANCISCO, CA 94111 415.930.7900
OWNER	WINDY HILL PROPERTY VENTURES 530 EMERSON STREET, SUITE 150 PALO ALTO, CA 94301
TOTAL AREA	65,902 SF (1.51 AC)
EXISTING ZONING	CBD/S-CENTRAL BUSINESS SUPPORT
EXISTING LAND USE	DOWNTOWN RETAIL CORE SUPPORT
PROPOSED LAND USE	DOWNTOWN RETAIL CORE SUPPORT THE PROPOSED PROJECT CONSISTS OF A 6 STORY MIXED-USE BUILDING CONSISTING OF 237,083 SF.
UTILITIES	
WATER SUPPLY:	CALIFORNIA WATER SERVICE
FIRE PROTECTION:	SAN MATEO CONSOLIDATED FIRE
SEWAGE DISPOSAL:	CITY OF SAN MATEO
STORM DRAIN:	CITY OF SAN MATEO
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	COMCAST
CABLE TELEVISION:	COMCAST

APPROVALS

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

Allyssa Jacobson
ALYSSA JACOBSON, P.E.
PROJECT MANAGER
BKF ENGINEERS
03/29/2022
DATE

Michael O'Connell
MICHAEL O'CONNELL, P.E.
ASSOCIATE
BKF ENGINEERS
03/29/2022
DATE



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.artecon.com
Arizona

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PHOENIX, AZ 85016 602.953.2355

California
1711 FREDERICK STREET, SUITE 107
SAN JOSE, CA 95131 408.496.1121
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150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING SUBMITTAL II
02/09/2022	FINAL PLANNING SUBMITTAL

TITLE SHEET

C1.01
PROJECT NO. 205207

DATE PLOTTED: 03/29/2022 10:58:11 AM

GENERAL NOTES

- BOUNDARY:** BOUNDARY INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF DATED 08/30/2021.
- SOURCE OF TOPOGRAPHY:** EXISTING TOPOGRAPHY SHOWN IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF ENGINEERS DATED 08/30/2021.
- GRADING, SITE GRADES AND BUILDING/GARAGE FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN AND GEOTECHNICAL ENGINEER'S REVIEW AND APPROVAL.**
- UTILITIES:** UTILITY SIZING, LOCATIONS, AND GRADES ARE SUBJECT TO FINAL ENGINEERING DESIGN, GEOTECHNICAL ENGINEER AND RESPECTIVE UTILITY AGENCY REVIEW AND APPROVAL.

A. EXISTING UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND RECORD DRAWINGS AND ARE NOT MEANT TO BE A FULL CATALOG OF ACTUAL CONDITIONS.

B. EXISTING ON-SITE UTILITIES SHOWN ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON PLANS.

C. THE WATER DISTRIBUTION WILL BE DESIGNED AND CONSTRUCTED PER CALIFORNIA WATER SERVICE STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

D. THE SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

E. THE STORM DRAIN SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

- FEMA DESIGNED FLOOD ZONE, FLOOD ZONE 'X';** OTHER AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PER FLOOD INSURANCE RATE MAP NUMBER 06081C0194G DATED 04/05/2019.

- LANDSCAPE PLAN:** LANDSCAPE PLAN BY KLA INCORPORATED SHALL BE APPROVED AS PART OF FINAL IMPROVEMENT PLANS FOR THE PROJECT.

FIRE DEPARTMENT NOTES

- A SEPARATE APPLICATION AND PERMIT ARE REQUIRED FOR THE INSTALLATION OF ANY UNDERGROUND FIRE SERVICE LINES. APPLICATION SHALL BE MADE BY A REGISTERED ENGINEER OR BY EITHER A GENERAL ENGINEERING CONTRACTOR OR A LICENSED FIRE SPRINKLER CONTRACTOR, WHO WILL BE PERFORMING THE WORK.
- IN ACCORDANCE WITH THE MUNICIPAL/ REGIONAL STORM WATER PERMIT, NO FIRE SPRINKLER SYSTEM DRAIN SHALL DISCHARGE INTO ANY STORM DRAIN SYSTEM. THE SYSTEM SHALL DISCHARGE TO EITHER A LANDSCAPE AREA LARGE ENOUGH TO CONTAIN THE OUTFLOW, OR TO THE SANITARY SEWER BY MEANS OF AN INDIRECT CONNECTION. INDICATE THE LOCATION OF THE FIRE SPRINKLER SYSTEM DRAIN ON PLANS SUBMITTED FOR A BUILDING PERMIT.

UNDERGROUND STORAGE TANKS

- PRIOR TO BUILDING PERMIT ISSUANCE, THE PROJECT MUST BE SUBMITTED TO THE SAN MATEO COUNTY HEALTH DEPARTMENT FOR REVIEW OF THE PROPOSED REMOVAL OF THE EXISTING UNDERGROUND STORAGE TANK ("UST") AND ASSOCIATED PIPING ON SITE.

LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY	---	---
COUNTY BOUNDARY	---	---
LOT LINE	---	---
CONTOUR LINE	~ ~ ~	~ ~ ~
FENCE	X X X	X X X
STORM DRAIN	=====	=====
SANITARY SEWER	-----	SS -----
WATER MAIN	-----	W -----
FIRE WATER MAIN	-----	FW -----
GAS LINE	-----	GAS -----
JOINT TRENCH	-----	E -----
SANITARY SEWER CLEAN OUT	●	●
SANITARY SEWER MANHOLE	●	⊙
STORM DRAIN CURB INLET	●	●
STORM DRAIN MANHOLE	●	⊙
STORMFILTER	■	■
DETECTOR CHECK & METER	■	■
COMPOUND METER	■	■
FIRE DEPARTMENT CONNECTION	■	■
FIRE HYDRANT	■	■
WATER VALVE	■	■
MONUMENT	○	○
TRANSFORMER	■	■
BIKE RACK	■	■
STREET LIGHT	■	■
INLET PROTECTION	■	■
POLE LIGHT	■	■
STORM DRAIN CLEAN OUT	●	●
STORM DRAIN AREA DRAIN	■	■
STORM DRAIN CATCH BASIN	■	■
OVERHEAD WIRES	---	OH -----
STREET SIGN	■	■
SPOT ELEVATION	TC 8.70	TC 8.70
FRESH AIR INLET	■	■
WATER METER	■	■
BACK FLOW PREVENTER	■	■
AUXILIARY WATER SUPPLY SYSTEM	---	AWSS -----
JOINT POLE	■	■
TREE	■	■

ABBREVIATIONS

A	DELTA
AB	AGGREGATE BASE
ACC	ASPHALT CONCRETE
ACP	ASBESTOS CEMENT PIPE
AD	AREA DRAIN
ADJ	ADJACENT
APP	APPENDIX
APN	ACCESS POINT NAME
AWSS	AUXILIARY WATER SUPPLY SYSTEM
B/W	BACK OF WALK
B/W BW	BEGINNING OF CURVE
BCR	BEGINNING CURB RETURN
BFP	BACKFLOW PREVENTER
BLD, BLDG	BUILDING
BTM	BOTTOM
BRC	BOTTOM OF RETAINING CURB
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BSW	BACK OF SIDEWALK
C&G	CURB AND GUTTER
CB	CATCH BASIN
CCP	CONCRETE CYLINDER PIPE
CL, CL, CL	CENTER LINE
CLR	CLEARANCE
CO	CLEANOUT
COMM	TELECOM
CONC	CONCRETE
COR	CORNER
CS	COMBINED SEWER
CSMH	CONCRETE SEWER MANHOLE
CTV, CTV	CABLE TELEVISION
DDSA	DOUBLE CHECK DETECTOR ASSEMBLY
DI	DROP INLET
DIA	DIAMETER
DMA	DRAINAGE MANAGEMENT AREA
DOC, DU	DOCUMENT
DOM	DOMESTIC WATER
DRAW	DRAWING
DWY	DRIVEWAY
E	EAST
E, ELEC	ELECTRIC
EASE, ESMT	EASEMENT
EB	ELECTRIC BOX
EC	END OF CURVE
ECC	EXTRUDED CONCRETE CURB
ECR	END CURB RETURN
EG	EXISTING GROUND
EL, ELEV	ELEVATION
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX, EXIST	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FNC	FENCE
FO	FIBER OPTIC CABLE
FS	FIRE SERVICE
FT	FET
FW	FIRE WATER
G	GAS
GB	GRADE BREAK
GM	GAS METER
GND	GROUND
GPM	GALLONS PER MINUET
GR	GRATE
GV	GRATE ELEVATION
H	GATE VALVE
HASP	HEAVY SAFETY PLAN
HCAP	HANDICAPPED
HC, HCR	HANDICAP RAMP
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
H, HORZ	HORIZONTAL
ID	INNER DIAMETER
INV	INVERT
IRR	IRRIGATION
JP	JOINT POLE
JT	JOINT TRENCH
L	LENGTH
L/C, LS	LANDSCAPE
LF	LINEAR FEET
LG	LIP OF GUTTER
LID	LOW IMPACT DEVELOPMENT
LOW	LIMIT OF WORK
LT	LIGHT
LSOP	LANDSCAPE
LT	LIGHT
MAX	MAXIMUM
MB	MAIL BOX
MIN	MINIMUM
MH	MANHOLE
MPWD	MID-PENINSULA WATER DISTRICT
N	NORTH
NTS	NOT TO SCALE
NO.	NUMBER
OC	OFF CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OR, O.R.	OFFICIAL RECORD
PCC	PORTLAND CEMENT CONCRETE
PDL	PEDESTAL
PRC	POINT OF REVERSE CURVATURE
PCL	PARCEL
PERF	PERFORATED
PG&E	PACIFIC GAS & ELECTRIC
PKG	PARKING
PL	PROPERTY LINE
PM	PARKING METER
POC	POINT OF CONNECTION
PR	PROPOSED
PRC	POINT OF COMPOUND CURVE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INFLECTION
R	RADIUS, RIGHT OF ALIGNMENT LINE
RC	REINFORCED CONCRETE PIPE
RM	RIM ELEVATION
RC	RELATIVE COMPACTION
RFL	ROOF LEADER

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	DETAIL SECTION A ON SHEET C1.01
	DETAIL A ON SHEET C1.01

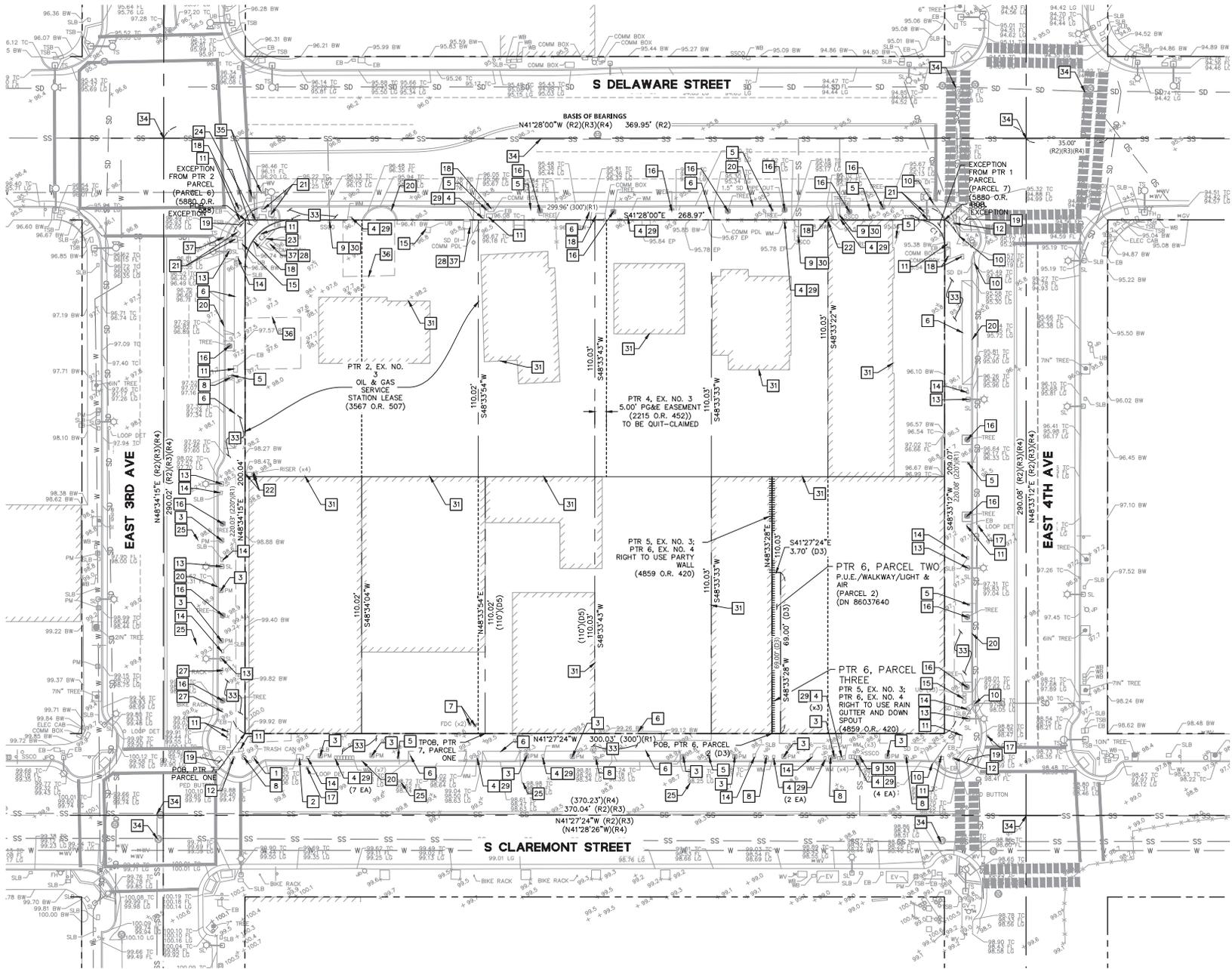
ARC TEC
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BKF
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PLANNING APPLICATION FOR:
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10/01/2021	PLANNING SUBMITTAL
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**NOTES
LEGEND &
ABBREVIATIONS**



- EXISTING CONDITIONS KEY NOTES**
- 1 TRASH CAN, TO BE REMOVED
 - 2 MAILBOX, TO BE REMOVED
 - 3 PARKING METER, TO BE REMOVED
 - 4 WATER METER, TO BE REMOVED TYP
 - 5 STREET SIGN, TO BE REMOVED
 - 6 DRIVEWAY, TO BE REMOVED
 - 7 FIRE DEPARTMENT CONNECTION, TO BE REMOVED
 - 8 JOINT POLE, TO REMAIN IN PLACE
 - 9 SANITARY SEWER CLEAN OUT, TO BE REMOVED
 - 10 STORM DRAIN CATCH BASIN, TO REMAIN IN PLACE
 - 11 ELECTRICAL BOX, TO REMAIN IN PLACE
 - 12 PEDESTRIAN BUTTON, TO REMAIN IN PLACE
 - 13 STREET LIGHT, TO BE RELOCATED, S.J.T.P.
 - 14 STREET LIGHT BOX, TO BE RELOCATED, S.J.T.P.
 - 15 UTILITY BOX, TO BE REMOVED
 - 16 TREE, TO BE REMOVED
 - 17 LOOP DETECTOR, TO REMAIN IN PLACE
 - 18 TELECOM BOX, TO BE REMOVED
 - 19 CURB RAMP, TO BE REMOVED AND REPLACED
 - 20 CURB AND GUTTER, TO BE REMOVED AND REPLACED
 - 21 TRAFFIC SIGNAL AND BOX, TO REMAIN IN PLACE
 - 22 ELECTRICAL RISER, TO BE REMOVED
 - 23 ELECTRICAL SIGN, TO BE REMOVED
 - 24 FIRE HYDRANT, TO BE REMOVED
 - 25 PARKING STRIPING, TO BE REMOVED
 - 26 NOT USED
 - 27 BIKE RACK, TO BE REMOVED
 - 28 STORM DRAIN PIPE, TO BE CUT, CAPPED, AND ABANDONED IN PLACE
 - 29 WATER PIPE, TO BE CUT, CAPPED, AND ABANDONED AT THE MAIN
 - 30 SANITARY SEWER, TO BE CUT, CAPPED, AND ABANDONED IN PLACE
 - 31 BUILDING, TO BE REMOVED
 - 32 NOT USED
 - 33 SIDEWALK, TO BE REMOVED TYP
 - 34 MANHOLE, TO REMAIN
 - 35 WATER VALVE, TO BE REMOVED
 - 36 GAS STATION OVERHANG, TO BE REMOVED
 - 37 STORM DRAIN CATCH BASIN, TO BE REMOVED

EXISTING CONDITIONS NOTES

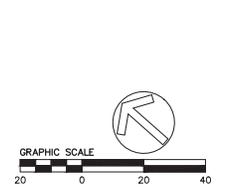
1. ALL EXISTING EASEMENTS WITHIN THE PROJECT PROPERTY TO BE QUIT-CLAIMED.

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 ARCHITECTURAL TECHNOLOGIES
 1150 CALIFORNIA STREET SUITE 600
 SAN FRANCISCO, CA 94111
 (415) 762-7000
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 BLOCK 21
 SAN MATEO, CA 94041

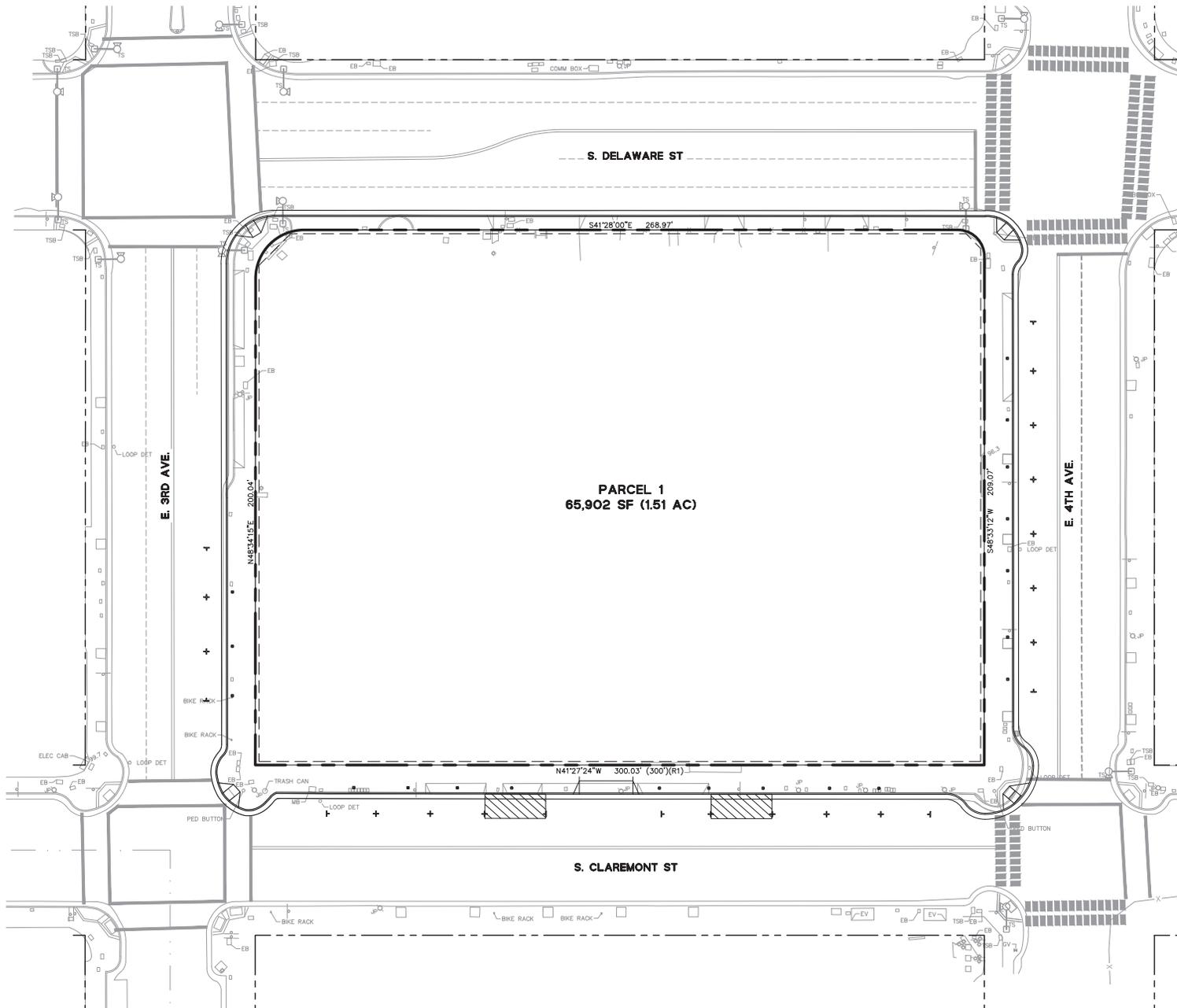
DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING SUBMITTAL II
02/09/2022	FINAL PLANNING SUBMITTAL



EXISTING CONDITIONS

C2.01

PROJECT NO. 205207



PARCEL 1
65,902 SF (1.51 AC)

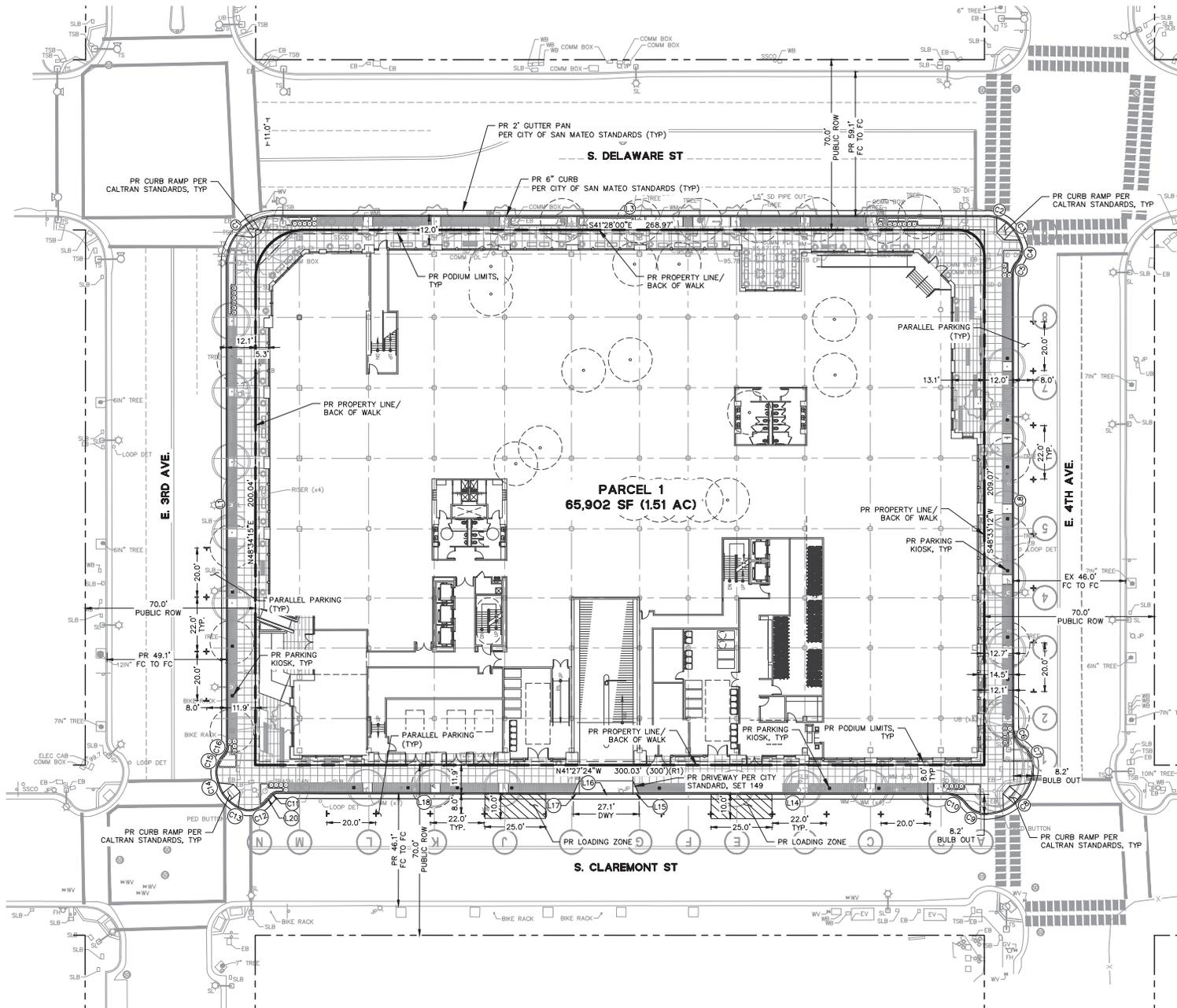


PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING SUBMITTAL II
02/29/2022	FINAL FORMAL PLANNING SUBMITTAL

PRELIMINARY PARCEL MAP

C2.02
PROJECT NO. 205207



LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	197.66	N48°29'12"E
L3	292.50	S41°25'46"E
L8	185.78	S48°29'16"W
L14	125.75	N41°25'57"W
L15	3.00	N41°25'19"W
L16	22.06	N41°25'31"W
L17	3.00	N41°23'48"W
L18	121.63	N41°19'50"W
L20	2.70	N89°21'38"W

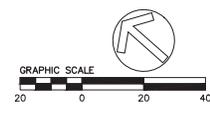
CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	31.45	20.00	090°05'01"
C2	9.95	13.44	042°23'10"
C3	9.94	17.40	032°43'33"
C4	8.43	7.35	065°41'14"
C5	6.00	7.51	045°48'22"
C6	9.37	10.00	053°41'57"
C7	9.39	10.00	053°49'41"
C8	31.42	20.00	090°00'00"
C9	9.42	10.00	053°57'29"
C10	9.42	10.00	053°57'41"
C11	2.82	5.76	028°05'53"
C12	9.52	9.92	054°56'59"
C13	12.39	16.76	042°22'34"
C14	7.95	22.16	020°32'25"
C15	9.40	10.28	052°23'53"
C16	4.41	5.42	046°40'09"

MARKED STREET PARKING		
STREET NAME	NO. OF EXISTING STALLS	NO. OF PROPOSED STALLS
E. 4TH AVE.	0	7
S. CLAREMONT ST	9	9
E. 3RD AVE.	3	3
S. DELAWARE ST	0	0
TOTAL	12	19

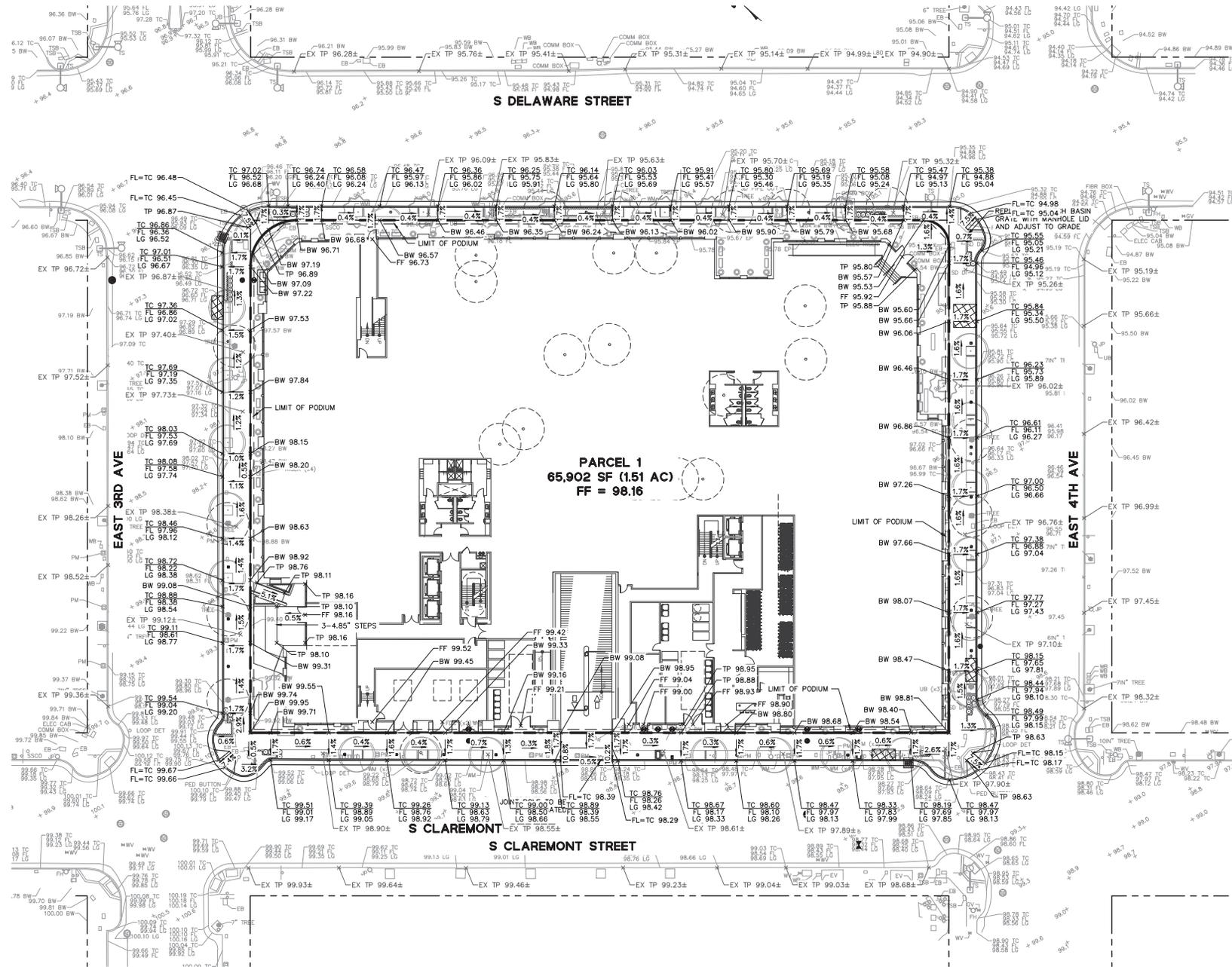


PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 BLOCK 21
 SAN MATEO, CA 94401

PRELIMINARY HORIZONTAL CONTROL PLAN



C3.01
 PROJECT NO. 205207



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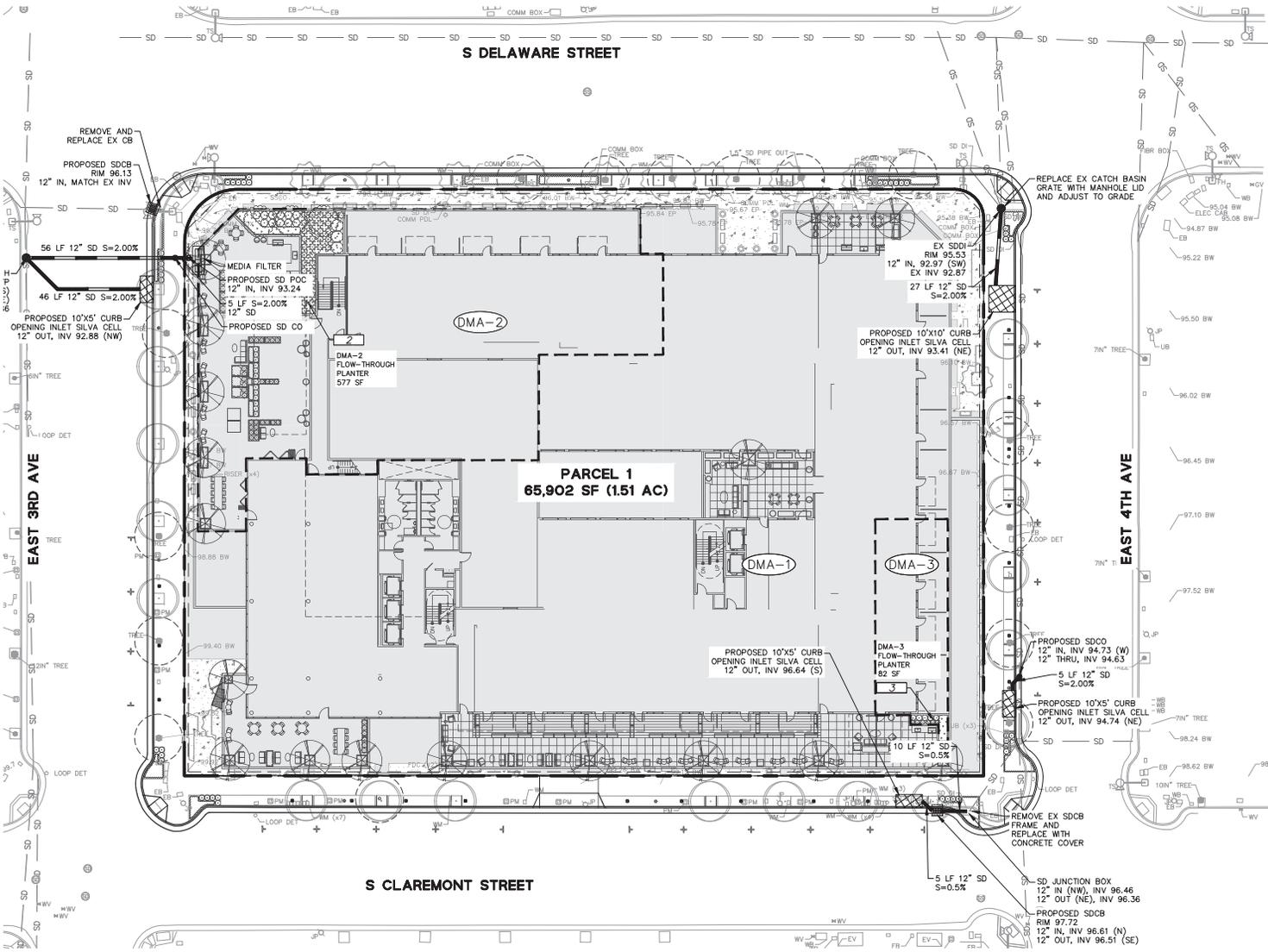
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
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 SAN MATEO, CA 94401

DATE	DESCRIPTION
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02/09/2022	FINAL FORMAL PLANNING SUBMITTAL

PRELIMINARY GRADING PLAN

C4.01
 PROJECT NO. 200207



- LEGEND**
- LANDSCAPE
 - DRAINAGE MANAGEMENT BOUNDARY
 - ROOF
 - SIDEWALK
 - FLOW-THROUGH PLANTER

FLOW-THROUGH PLANTER TREATMENT AREA							
DRAINAGE AREA	DRAINAGE AREA BCE (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA* (SF)	REQUIRED TREATMENT AREA (SF)/ FLOW (CFD)	PROVIDED TREATMENT AREA (SF)/ FLOW (CFD)	PROPOSED TREATMENT CONTROLS
DA-1	48,867	48,840	27	48,842	0.201 (CFD)	0.201 (CFD)	NON-LID: MEDIA FILTER
DA-2	14,953	14,375	577	14,433	575 (SF)	577 (SF)	LID: FLOW-THROUGH PLANTER
DA-3	2,082	2,000	82	2,001	80 (SF)	82 (SF)	LID: FLOW-THROUGH PLANTER
TOTAL	65,902	65,215	687	65,284			

LID TREATMENT AREA SUMMARY			
NON-LID TREATED DRAINAGE AREA	DA-1: 48,868 (SF)	PERCENTAGE (75% ALLOWED)	74%
LID TREATED DRAINAGE AREA	DA-2 + DA-3: 17,035 (SF)	PERCENTAGE	26%

*THE EFFECTIVE IMPERVIOUS SURFACE AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA AND 0.1 X THE TOTAL PERVIOUS AREA, EXCLUDING THE TREATMENT AREA.

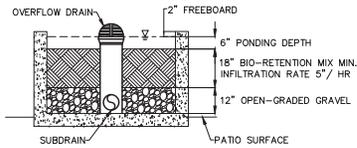


PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 BLOCK 21
 SAN MATEO, CA 94401

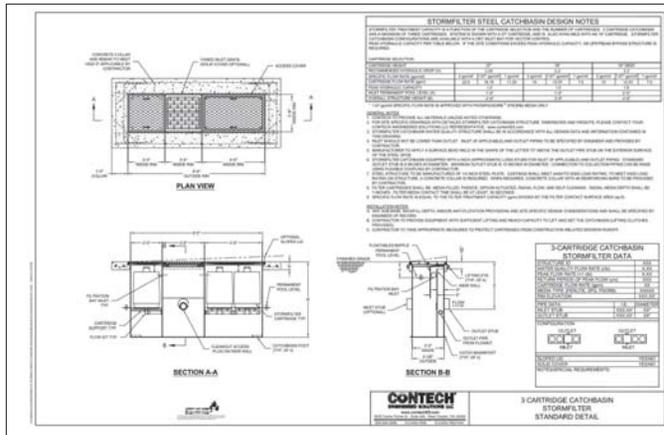
DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING SUBMITTAL II
02/09/2022	FINAL SUBMITTAL

PRELIMINARY STORMWATER CONTROL PLAN

C6.01
 PROJECT NO. 205207



1 TYPICAL FLOW-THROUGH PLANTER ON PODIUM



2 MEDIA FILTER

CONSTRUCTION STORMWATER BMP NOTES

- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDEED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.

SOURCE CONTROL NOTES

- STORM DRAIN: MARK ON-SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
- LANDSCAPING:
 - RETAIN EXISTING VEGETATION AS PRACTICABLE.
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- REFUSE AREAS:
 - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- FIRE SPRINKLERS: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
- MISCELLANEOUS DRAIN OR WASH WATER:
 - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
 - ROOF DRAINS FROM EQUIPMENT DRAIN TO LANDSCAPED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.



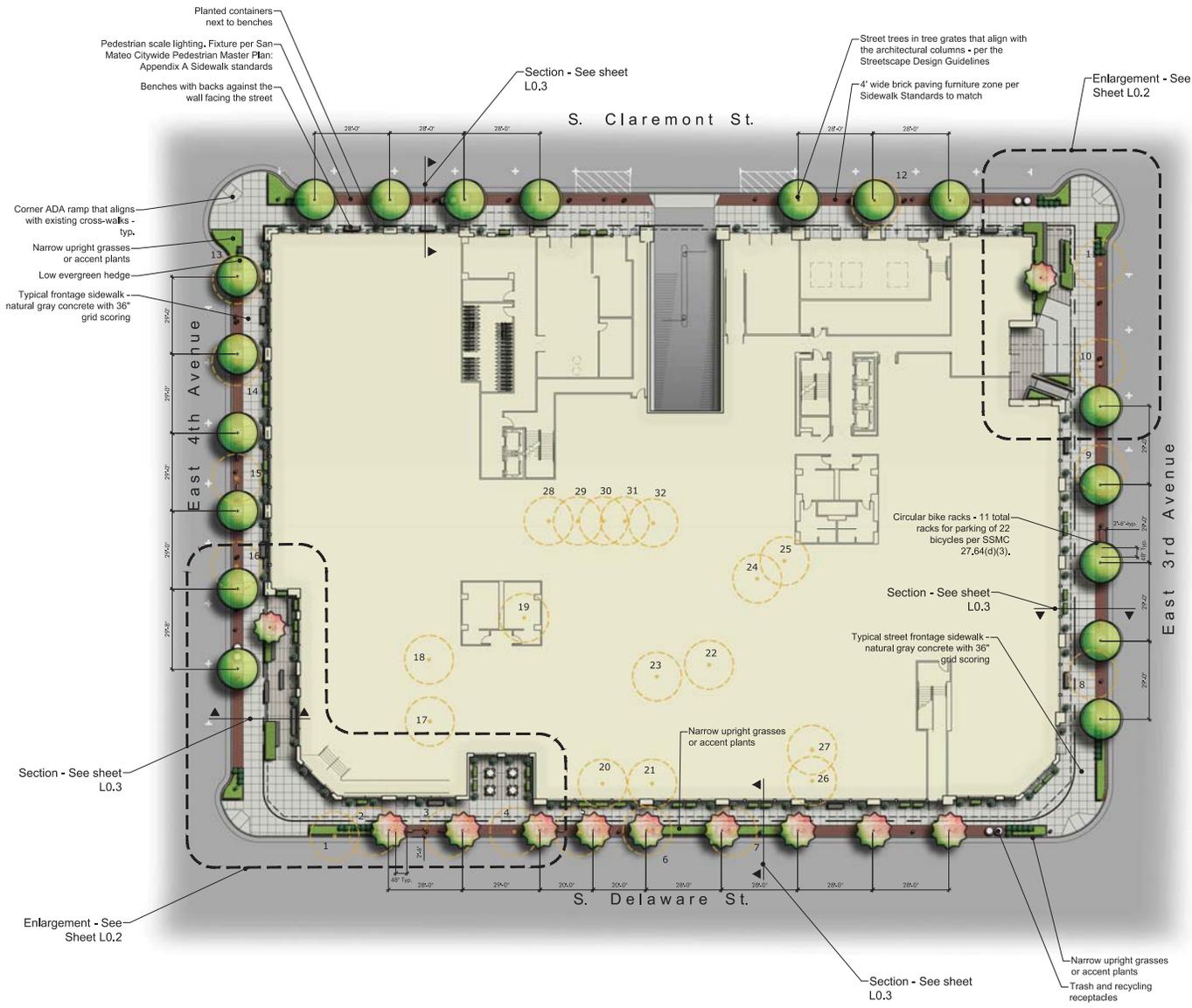
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 BLOCK 21
 SAN MATEO, CA 94401

DATE	DESCRIPTION
10/01/2011	PLANNING SUBMITTAL
12/22/2011	PLANNING SUBMITTAL II
02/29/2012	FINAL SUBMITTAL
	PLANNING SUBMITTAL

PRELIMINARY
 STORMWATER
 CONTROL NOTES

C6.02

PROJECT NO. 205207



Landscape Concept

The landscape design concept for the new mixed use building is to provide an enjoyable and aesthetic space for the employees, residents, and guests that fits within the landscape framework of the surrounding area. Plant material has been selected that performs well in the special conditions of San Mateo (Sunset Zone #17).

No new turf areas are being added. Low and medium water-use hardy trees, shrubs, grasses, and groundcover are proposed for the landscape around building. The landscape (and associated irrigation) has been designed to be compliant with City of San Mateo Water Efficient Landscaping Ordinance.

Special considerations have been provided in selection of plant material that respects the needs of the office users as well as the guests. Clear and secure view corridors have been provided to ensure safety of people entering the building as well as moving around the site.

Preliminary Plant Palette

- Street Trees - 36" Box**
Eucalyptus spathulata
Swamp Mallet
- Street Trees - 30" Box**
Lagerströmia 'Muskogee'
Crispe Myrtle
- Shrubs**
Low Evergreen Hedge - 9 gal. @ 24" x 30" O.C.
Buxus microcarpa japonica 'Green Beauty'
Myrsine africana
Myrica carolinensis 'Compacta'
Green Beauty Boxwood
African Boxwood
Dwarf Myrtle
- Grasses or Accent Plants - 1 gal. @ 24" x 36" O.C.**
Anjoucarrhoea hybridus
Callamagrostis aciflora 'Karl Foerster'
Dianella isomeric
Nassella tenuissima
Kangaroo Paw
Feather Reed Grass
Tasmanian Flaxlily
Texas Needle Grass

Existing Trees to be removed
Number corresponds to Tree Evaluation Schedule provided in Arborist's Report

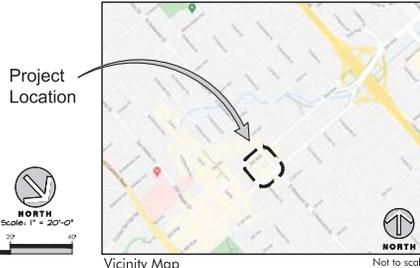
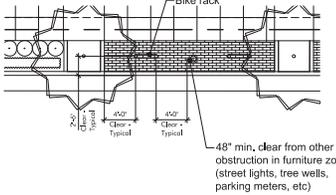
The Preliminary Plant Palette represents a sampling of the types of shrubs and groundcovers that we anticipate to be appropriate for the location as well as the design style and overall theme. This is the list from which plant selection will be chosen from. Not all plants listed within the plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with this plan and plant palette.

Non-Living Groundcover
Mulch to be evenly distributed throughout all shrub and groundcover areas unless otherwise noted on plans. Mulch to be nitrogen stabilized, max. 3/4", recycled material installed at min. 2" depth. "Cool-White" is not acceptable unless specifically noted for slope areas.

Irrigation
The entire site will be irrigated using a fully automatic system and designed to meet the City's Water Efficient Landscaping Ordinance (WELO). The irrigation system will be subsurface drip line. Trees will be irrigated on separate circuits from the shrubs with deep root bubblers. The system will include inline valves, quick couplers, and gate valves. The irrigation controller will be a "smart" controller by Rainbird, Toro, Hunter, or equal. A complete irrigation design with these parameters will be provided with the submittal of building permit plans.

Landscape Areas	Pedestrian Areas
At-Grade Planting 1,229 sf	Brick Paving 2,638 sf
Containers 576 sf	Special Concrete Paving 2,739 sf
Total Site Landscape 1,822 sf	Concrete Sidewalk 9,793 sf

Typical Short Term Bike Parking Detail
Scale: 1/8" = 1'-0"



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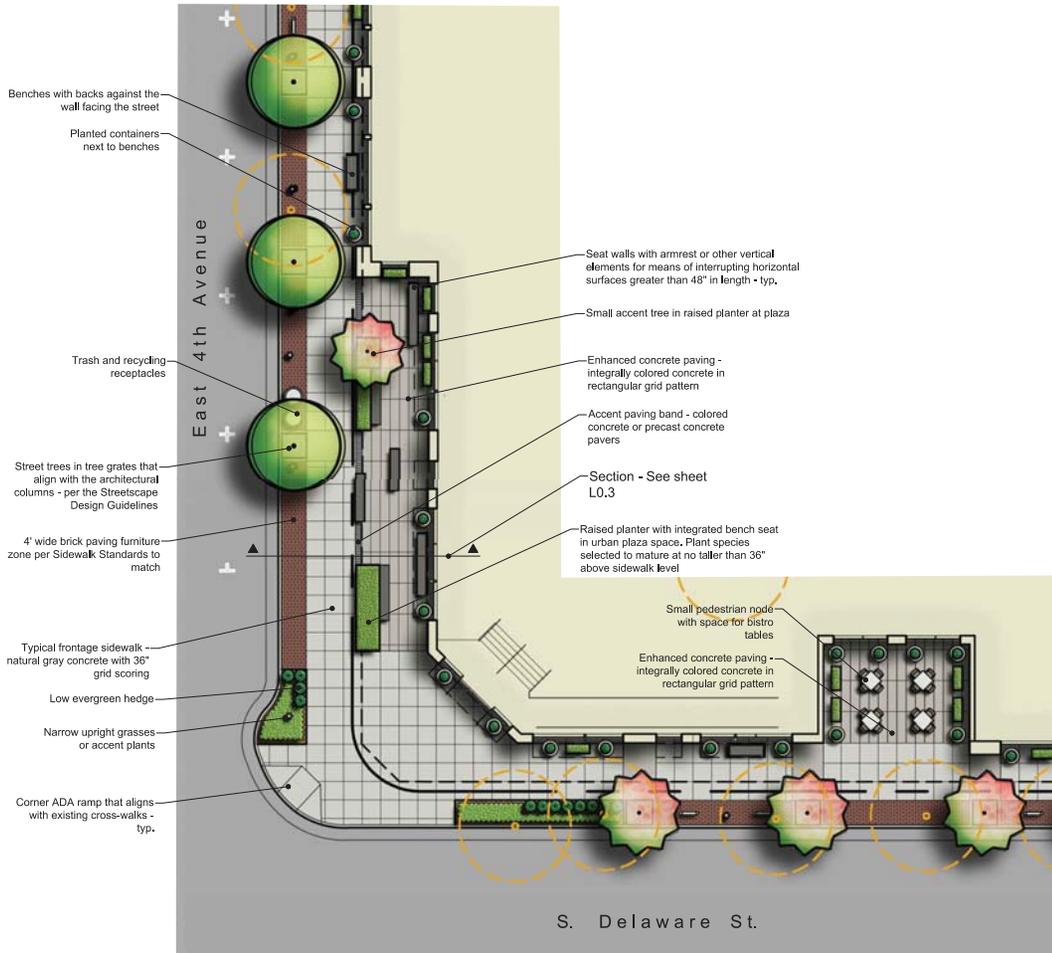
In Association with:



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94041

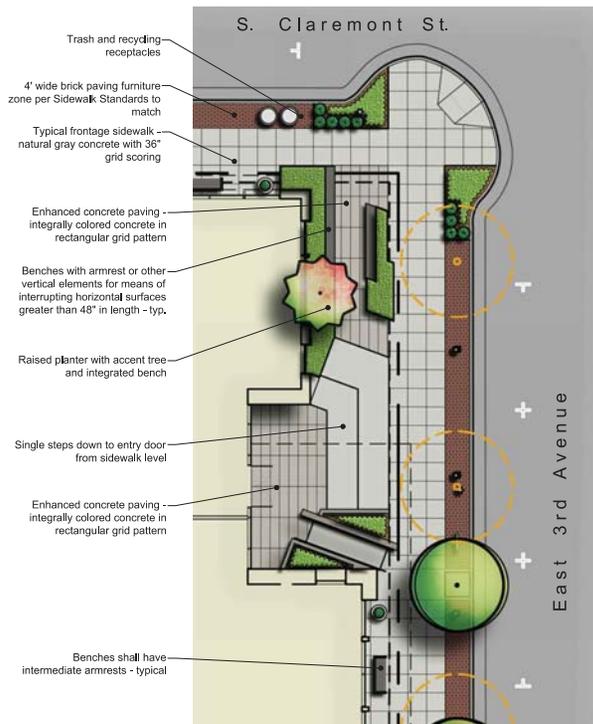
DATE	DESCRIPTION
10/1/2021	PLANNING SUBMITTAL
10/15/2021	PLANNING RESUBMITTAL
10/16/2022	PLANNING RESUBMITTAL
10/23/2022	PLANNING RESUBMITTAL

Preliminary
Landscape Plan
L0.1
PROJECT NO. KLA-21-2389



Open Space Enlargement - 4th and Delaware Intersection

SCALE: 1" = 10'-0"



Open Space Enlargement - 3rd and Claremont Intersection

SCALE: 1" = 10'-0"



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The work of ARC TEC is the result of a team effort. We are grateful to our clients for their trust and to our staff for their hard work and dedication. We are also grateful to the community for their support and to the professionals we work with for their expertise. We are committed to providing the highest quality of service and to being a responsible corporate citizen. We are proud to be a part of the ARC TEC family and to the communities we serve.

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WINDY HILL PROPERTY VENTURES

BLOCK 21

SAN MATEO, CA 94401

PLANNING APPLICATION FOR:

DATE DESCRIPTION

10/1/2021 PLANNING SUBMITTAL

10/15/2021 PLANNING RESUBMITTAL

10/16/2022 PLANNING RESUBMITTAL

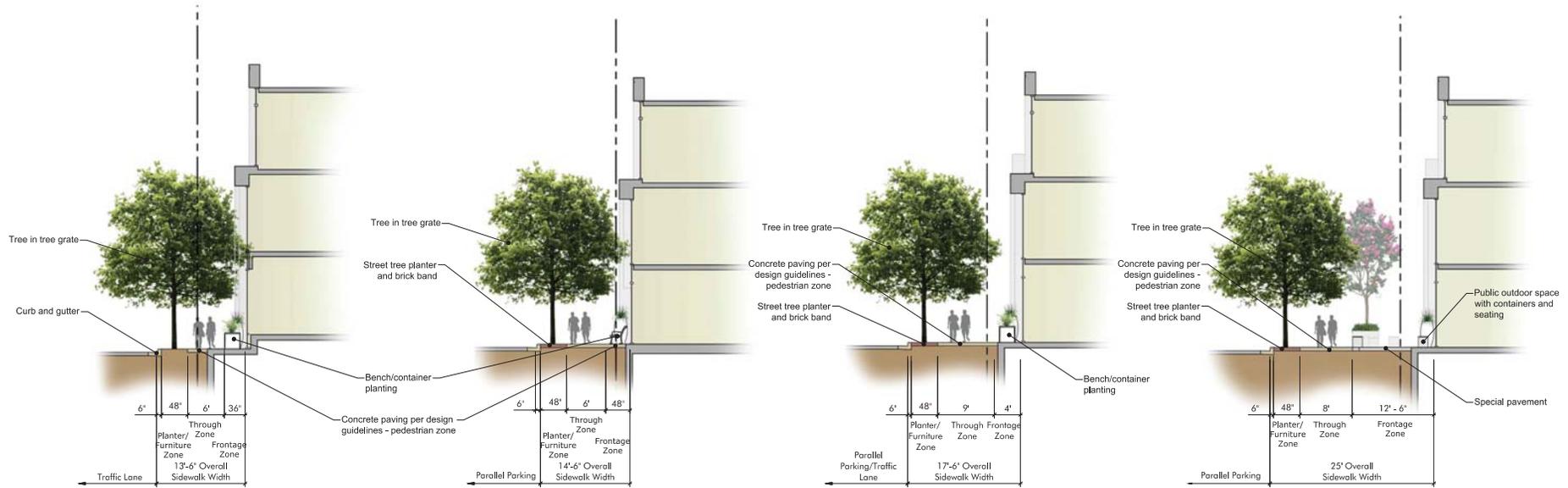
10/20/2022 PLANNING RESUBMITTAL

Landscape Plan -

Elargements

L0.2

PROJECT NO. KLA-21-2389



S. Delaware Street Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"

S. Claremont Street Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"

3rd Avenue Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"

4th Avenue Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"

Concept Imagery



Modular raised planters with integrated bench



Bike rack - Walk Circular Rack - WCR024G. Finish to be stainless steel.



Bench - per City of San Mateo Design Guidelines, Watson Valley - Estate Series 72" with intermediate armrest. Color: Black powder coat



Trash receptacle - Watson Valley Urbanscape 2" style 32 gallon receptacle. Color: Black powder coat



Planting Containers



Tree grate - per City of San Mateo Design Guidelines, Urban Accessories - 07 - Title 24, Color: Powdercoat RAL 6004



Brick paving - per City of San Mateo Design Guidelines, McHear Brick and Block - Commercial Series, Color: Tangiers.



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PLANNING APPLICATION FOR:
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2.22.2021	PLANNING SUBMITTAL
06.16.2022	PLANNING SUBMITTAL
03.27.2022	PLANNING SUBMITTAL

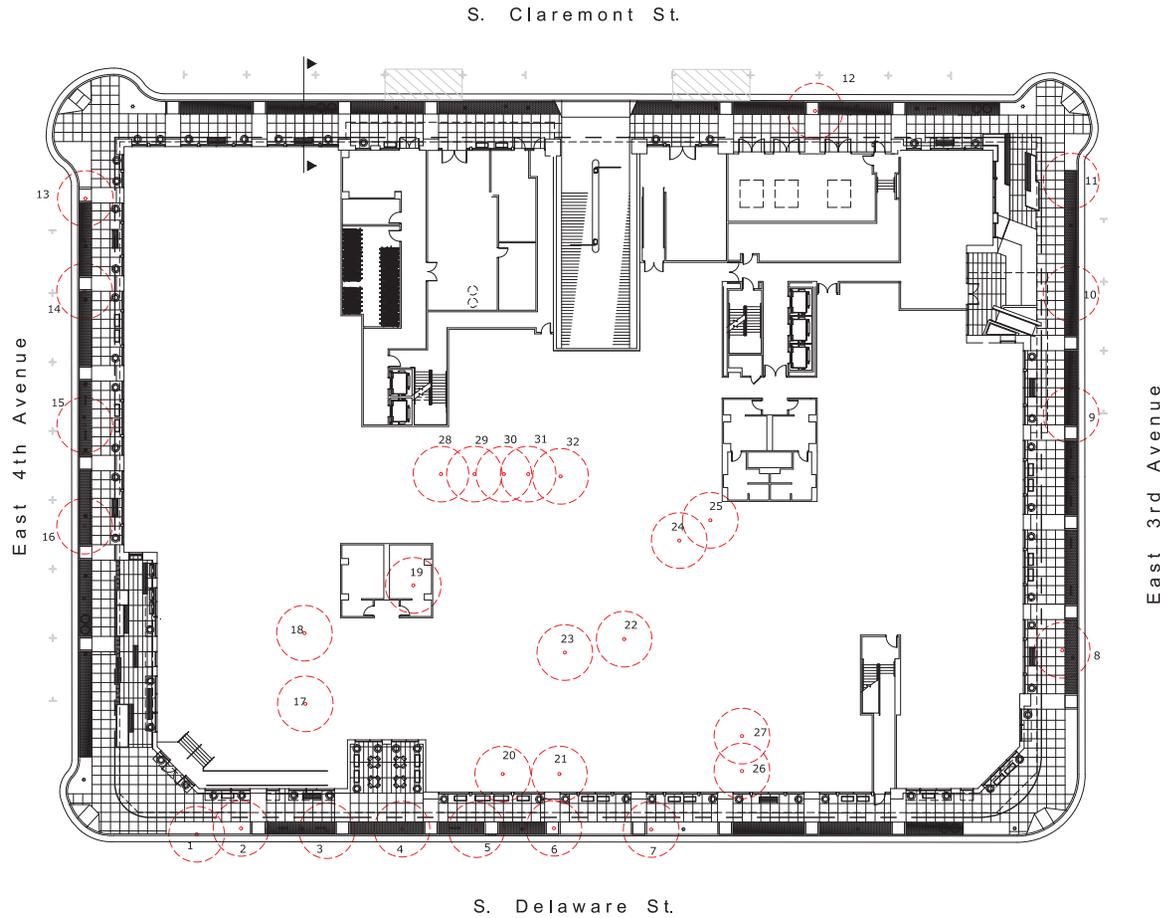
Preliminary
 Sections
L0.3

PROJECT NO: KLA-21-2369

Existing Tree Disposition

Existing Trees to be removed

Number corresponds to Tree Evaluation Schedule provided in Arborist's Report



Tree Evaluation Schedule

Tree#	Species	DBH	CON	HT/SP	Comments
1P/R	Australian willow (<i>Geijera parviflora</i>)	18.3	20	30/20	Poor vigor, poor form, struck by vehicle in past, decay on trunk, more than 50% of cambium gone, included bark at 5', Street tree.
2P/R	Australian willow (<i>Geijera parviflora</i>)	15.9	50	35/25	Fair vigor, poor form, codominant at 10 feet with included bark, street tree.
3P/R	Australian willow (<i>Geijera parviflora</i>)	19.4	50	30/25	Fair to poor vigor, fair form, codominant at 8 feet with fair union, street tree.
4P/R	Australian willow (<i>Geijera parviflora</i>)	27.2	40	35/30	Poor vigor, poor form, die back, multi leader at 6 feet with included bark, street tree.
5P/R	Australian willow (<i>Geijera parviflora</i>)	18.5	45	30/25	Fair vigor, fair form, areas of decay on trunk, street tree.
6P/R	Australian willow (<i>Geijera parviflora</i>)	21.3	30	35/30	Poor vigor, poor form, codominant at 5 feet with included bark, decay on trunk and codominant leaders.
7P/R	Australian willow (<i>Geijera parviflora</i>)	15.0	30	20/15	Poor vigor, poor form, topped in past, in decline, street tree.
8P/R	Hackberry (<i>Celtis occidentalis</i>)	10.7	45	30/20	Fair vigor, poor form, decay at root crown, girdled by tree grate, near overhead utilities, topped in past, street tree.
9P/R	Hackberry (<i>Celtis occidentalis</i>)	8.0	50	30/15	Fair vigor, fair form, topped in past, street tree.
10P/R	Hackberry (<i>Celtis occidentalis</i>)	9.2	40	25/20	Fair vigor, poor form, decay at root crown, girdled by tree grate, topped in past, street tree.
11P/R	Hackberry (<i>Celtis occidentalis</i>)	10.8	45	30/20	Fair vigor, poor form, girdled by tree grate, topped, street tree.
12R	Water gum (<i>Tristania lamarina</i>)	6.1	70	12/10	Good vigor, good form.
13P/R	Hackberry (<i>Celtis occidentalis</i>)	6.4	45	20/15	Good vigor, poor form, street tree, topped in past.
14P/R	Hackberry (<i>Celtis occidentalis</i>)	7.0	45	25/15	Fair to poor vigor, fair form, die back, street tree.
15P/R	Hackberry (<i>Celtis occidentalis</i>)	9.6	40	25/15	Fair vigor, poor form, girdled root crown, decay at root crown, street tree.
16P/R	Hackberry (<i>Celtis occidentalis</i>)	9.4	40	25/15	Fair vigor, poor form, girdled root crown, decay at root crown, street tree.
17R	Hollywood juniper (<i>Juniperus chinensis</i>)	7.3	50	15/10	Fair vigor, fair form, against building.
18R	Hollywood juniper (<i>Juniperus chinensis</i>)	8.5	50	15/10	Fair vigor, fair form, against building.
19P/R	American elm 12-12-15-10 (<i>Ulmus americana</i>)	30@base	50	50/35	Fair vigor, poor form, multi leader at 2 feet with included bark.
20R	Australian cherry (<i>Syzygium australe</i>)	4.0	30	8/3	Poor vigor, poor form, in decline.
21R	Australian cherry (<i>Syzygium australe</i>)	6.0	30	8/4	Poor vigor, poor form, in decline.
22R	Lemon (<i>Citrus sp.</i>)	6.0	40	12/10	Poor vigor, poor form, in decline.
23R	Avocado (<i>Persea americana</i>)	6.0	50	12/10	Fair vigor, fair form.
24P/R	English walnut (<i>Juglans regia</i>)	16.5	30	30/20	Poor vigor, poor form, in decline.
25P/R	Plum (<i>Prunus sp.</i>)	8-9-8-7-10 @base	30	30/20	Poor vigor, poor form, in decline.
26P/R	Australian cherry 12-15-8-8 (<i>Syzygium australe</i>)	28@base	50	35/30	Good vigor, poor form, multi leader at grade, against small retaining wall.
27R	Big leaf maple (<i>Acer macrophyllum</i>)	7.8	30	15/15	Fair vigor, poor form, leans heavy, suppressed, against retaining wall.
28P/R	American elm (<i>Ulmus americana</i>)	18est	60	45/25	Fair vigor, fair form, codominant at 12 feet.
29P/R	American elm 15-15est 60 (<i>Ulmus americana</i>)	20@base	60	45/25	Fair vigor, fair form, codominant at 5 feet.
30P/R	American elm (<i>Ulmus americana</i>)	18est	60	45/25	Fair vigor, fair form, codominant at base.
31P/R	California pepper (<i>Schinus molle</i>)	18est	45	20/15	Fair vigor, poor form, heavily decayed trunk, suppressed.
32R	American elm (<i>Ulmus americana</i>)	6est	45	25/15	Fair vigor, poor form, heavily suppressed.



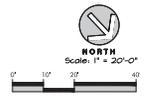
ARC TEC ARCHITECTURAL TECHNOLOGIES
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In Association with:



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/1/2021	PLANNING SUBMITTAL
11/22/2021	PLANNING RESUBMITTAL
02/16/2022	PLANNING RESUBMITTAL
03/02/2022	PLANNING RESUBMITTAL



Existing Tree Disposition Plan
L0.6a
PROJECT NO. KLA-21-2395

Kiely Arborist Services LLC
 Certified Arborist WS69476A
 P.O. Box 4117
 San Mateo, CA 94403
 650-513-4763

October 6th, 2021

Lisa King, ACP
 LOM Planning & Environmental Consulting, INC.
 One Black 21 Project, San Mateo CA
 Dear Ms. King,

As requested on Wednesday, February 9th 2021, and again on Wednesday, September 22nd, 2021, I visited the above site to inspect and estimate the trees. A large development project is proposed on this block and will require the removal of all of the surveyed trees. A LULU evaluation sheet and tree register form can be found within this report. The most current plans have been reviewed for writing this report. No neighboring property trees will have construction performed within a radius equal to ten times the diameter of the tree trunk.

Method:
 All inspections were made from the ground, the trees were not climbed for this inspection. The trees in question were located on one block 31 dated February 2018. The trees were then measured for diameter at 48 inches above ground level (DGL) or diameter at breast height. The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale:

1 - 20 Very Poor
 30 - 40 Poor
 50 - 60 Fair
 70 - 80 Good
 90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 150 Dyprometer. The spread was measured off. Comments and recommendations for future maintenance are provided.

Tree ID	Species	Form	Vitality	Condition	Height	DBH	Spread	Value	Notes
1	Acacia saligna	Good	Good	Good	12	10	15	150	
2	Acacia saligna	Good	Good	Good	12	10	15	150	
3	Acacia saligna	Good	Good	Good	12	10	15	150	
4	Acacia saligna	Good	Good	Good	12	10	15	150	
5	Acacia saligna	Good	Good	Good	12	10	15	150	
6	Acacia saligna	Good	Good	Good	12	10	15	150	
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13	Acacia saligna	Good	Good	Good	12	10	15	150	
14	Acacia saligna	Good	Good	Good	12	10	15	150	
15	Acacia saligna	Good	Good	Good	12	10	15	150	
16	Acacia saligna	Good	Good	Good	12	10	15	150	
17	Acacia saligna	Good	Good	Good	12	10	15	150	
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44	Acacia saligna	Good	Good	Good	12	10	15	150	
45	Acacia saligna	Good	Good	Good	12	10	15	150	
46	Acacia saligna	Good	Good	Good	12	10	15	150	
47	Acacia saligna	Good	Good	Good	12	10	15	150	
48	Acacia saligna	Good	Good	Good	12	10	15	150	
49	Acacia saligna	Good	Good	Good	12	10	15	150	
50	Acacia saligna	Good	Good	Good	12	10	15	150	

Showing 11 with street trees (11). All 10 trees to be included in register.
Total value of LULU not including street trees=86.3



Showing trees #20-30 (ginkgo biloba in winter). The remaining trees are out of a protected site in the city of San Mateo.

The information included in this report is intended to be true and based on sound arboricultural principles and practices. However, Kevin Kiely Certified Arborist WS69476A *Kevin Kiely*

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site files, disputes between neighbors, local/county orders, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person being the arboreal services full responsibility for authorizing the recommended treatment or removal measures. Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to estimate all risks is to estimate all trees.

Tree ID	Species	Form	Vitality	Condition	Height	DBH	Spread	Value	Notes
1	Acacia saligna	Good	Good	Good	12	10	15	150	
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Showing tree #1 with extensive decay. Showing row of Australian Willow trees.

Kiely Arborist Services
 P.O. Box 4117
 San Mateo, CA 94403
 650-513-4763

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to measure trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of losing tree trees. Clients may choose to accept or discontinue the services of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fall in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a mulch, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site files, disputes between neighbors, local/county orders, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person being the arboreal services full responsibility for authorizing the recommended treatment or removal measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to estimate all risks is to estimate all trees.

Arborist: *Kevin R. Kiely*
 Date: October 6th, 2021

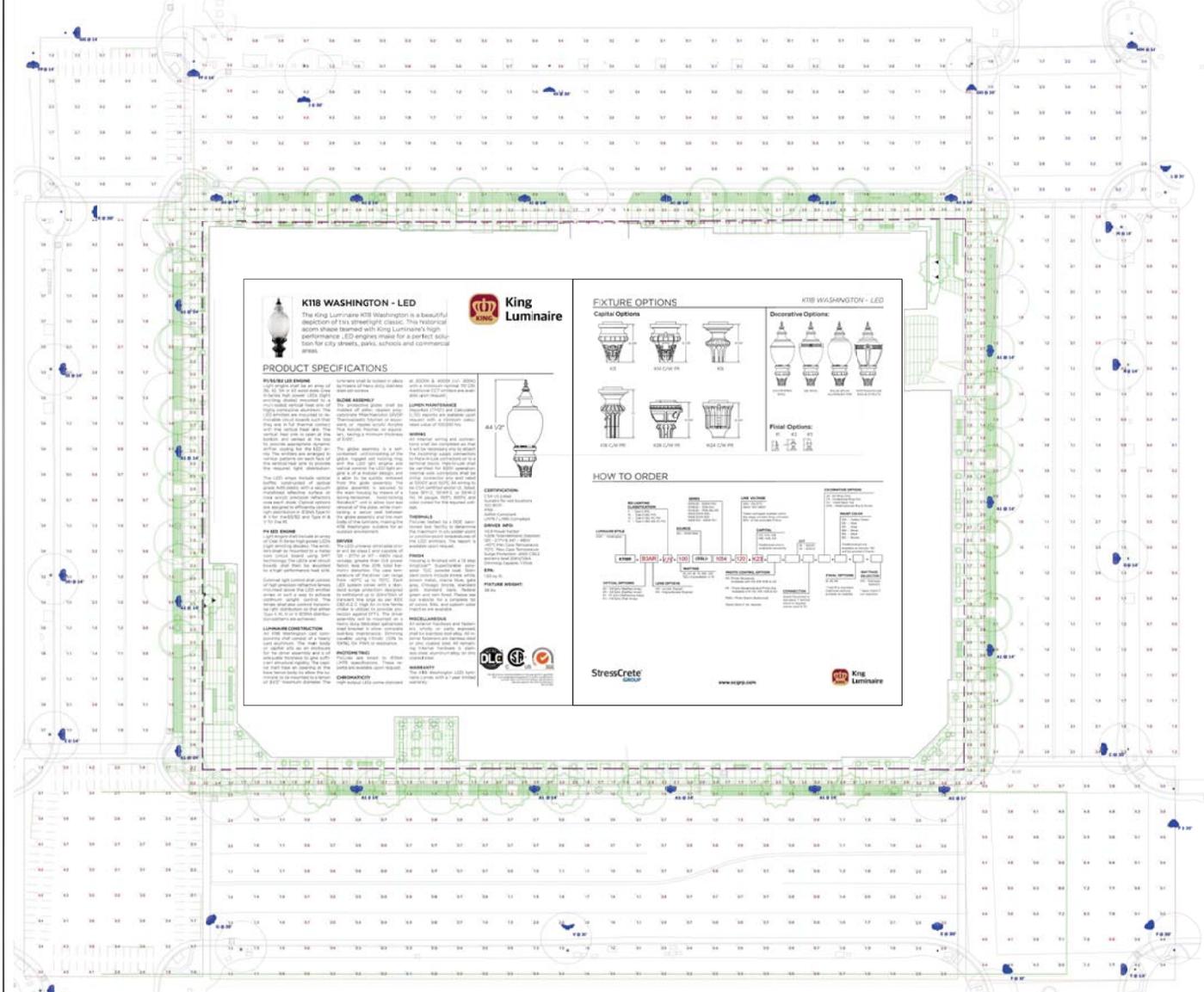
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13	Acacia saligna	Good	Good	Good	12	10	15	150	
14	Acacia saligna	Good	Good	Good	12	10	15	150	
15	Acacia saligna	Good	Good	Good	12	10	15	150	
16	Acacia saligna	Good	Good	Good	12	10	15	150	
17	Acacia saligna	Good	Good	Good	12	10	15	150	
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41	Acacia saligna	Good	Good	Good	12	10	15	150	
42	Acacia saligna	Good	Good	Good	12	10	15	150	
43	Acacia saligna	Good	Good	Good	12	10	15	150	
44	Acacia saligna	Good</							

The lighting levels the project is required to meet shall be:

Analysis Zone	Pavement Average Horizontal Illuminance (fc) <i>L_{avg}</i>	Average Uniformity Ratio <i>L_{avg}/L_{min}</i>	Maximum Uniformity Ratio <i>L_{max}/L_{min}</i>
4 th Ave - Road	1.7	3.0	5.0
3 rd Ave - Road	1.7	3.0	5.0
Claremont St - Road	1.1	3.0	5.0
Delaware St - Road	1.7	3.0	5.0

Analysis Zone	Calc Zone	Avg	Max	Min	Max/Min	Avg/Min
4 th Ave - Sidewalk	0.9	4.0	NA			
3 rd Ave - Sidewalk	0.9	4.0	NA			
Claremont St - Sidewalk	0.9	4.0	NA			
Delaware St - Sidewalk	0.9	4.0	NA			
3 rd Ave / Delaware St	3.2	3.0	NA			
3 rd Ave / Claremont St	2.7	3.0	NA			
4 th Ave / Delaware St	3.2	3.0	NA			
4 th Ave / Claremont St	2.7	3.0	NA			

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone @ 3RD & S. DELAWARE	+	3.5 fc	5.8 fc	1.2 fc	4.8:1	2.9:1
Calc Zone @ S. DELAWARE & 4TH	+	2.7 fc	3.9 fc	1.7 fc	2.3:1	1.6:1
Calc Zone @ CLAREMONT & 4TH	+	5.2 fc	8.5 fc	3.0 fc	2.8:1	1.7:1
Calc Zone @ 3RD & CLAREMONT	+	3.0 fc	4.8 fc	1.6 fc	3.0:1	1.9:1
Calc Zone @ 3RD	+	1.6 fc	5.3 fc	0.2 fc	26.5:1	8.0:1
Calc Zone @ 4TH	+	1.4 fc	3.8 fc	0.1 fc	38.0:1	14.0:1
Calc Zone @ CLAREMONT	+	1.1 fc	3.2 fc	0.1 fc	32.0:1	11.0:1
Calc Zone @ S. DELAWARE	+	1.4 fc	4.8 fc	0.1 fc	48.0:1	14.0:1
Calc Zone @ SIDEWALK	+	2.3 fc	4.8 fc	1.1 fc	4.4:1	2.1:1



K118 WASHINGTON - LED

The King Luminaire K118 Washington is a beautiful recreation of the streetlights classic. This traditional acorn shape teamed with King Luminaire's high performance LED engine makes for a perfect solution for city streets, parks, schools and commercial areas.

PRODUCT SPECIFICATIONS

WARRANTY
The King Luminaire K118 Washington is warranted for 5 years or 50,000 hours of operation, whichever comes first. The warranty is void if the luminaire is not installed and maintained in accordance with the manufacturer's instructions.

LED ASSEMBLY
The King Luminaire K118 Washington is equipped with a high performance LED engine that provides a long life span and low energy consumption. The LED engine is housed in a die-cast aluminum housing that is designed to dissipate heat and protect the LED chips.

OPERATING TEMPERATURE
The King Luminaire K118 Washington is designed to operate in a wide range of temperatures, from -40°F to 140°F.

OPERATING HOURS
The King Luminaire K118 Washington is designed to operate for up to 100,000 hours.

OPERATING VOLTAGE
The King Luminaire K118 Washington is designed to operate at 120V AC.

OPERATING CURRENT
The King Luminaire K118 Washington is designed to operate at 0.5A.

OPERATING POWER
The King Luminaire K118 Washington is designed to operate at 60W.

OPERATING EFFICIENCY
The King Luminaire K118 Washington is designed to operate at 100 lumens per watt.

OPERATING DIMENSIONS
The King Luminaire K118 Washington is designed to be 18" high and 12" wide.

OPERATING WEIGHT
The King Luminaire K118 Washington is designed to weigh 15 lbs.

OPERATING MATERIALS
The King Luminaire K118 Washington is made of die-cast aluminum and polycarbonate.

OPERATING FINISHES
The King Luminaire K118 Washington is available in a variety of finishes, including black, white, and bronze.

OPERATING OPTIONS
The King Luminaire K118 Washington is available with a variety of options, including a photocell and a dimmer.

OPERATING ACCESSORIES
The King Luminaire K118 Washington is available with a variety of accessories, including a mounting bracket and a chain.

OPERATING CERTIFICATIONS
The King Luminaire K118 Washington is certified by UL, ETL, and DLC.

FIXTURE OPTIONS

Capital Options:

- K118
- K118-120V-100
- K118-120V-150

Decorative Options:

- K118-120V-100-1
- K118-120V-100-2
- K118-120V-100-3

Final Options:

- K118-120V-100-1-1
- K118-120V-100-1-2
- K118-120V-100-1-3

HOW TO ORDER

Example: K118-120V-100-1-1

STRESSCRETE

King Luminaire

Zone	Area	Calculation	Result	Notes
A2				
A1				
A3				
C				
E				
H				
N				
D				
G				
I				
J				
K				
V				
Z				
DC				
EE				
EX				
OG				
A				
F				
H				
U				
PP				
OG				
PP				
NH				
NH				
L				
W				

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P: 408.495.5676

The world's most comprehensive lighting design and engineering firm. We provide lighting design and engineering services for a wide range of projects, including commercial, residential, and public spaces. Our team of experts is dedicated to providing innovative and sustainable lighting solutions that enhance the quality of life for our clients.

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In Association with:

Warm Shell Office Building, Residential and Site for:
WINDY HILL PROPERTY VENTURES
3RD AVENUE AND DELAWARE AVENUE
San Mateo, CA 94401

WINDY HILL
property ventures

DATE: DESCRIPTION:

ELECTRICAL
SITE LIGHTING - PHOTOMETRIC
CALCULATIONS

E1.1

PROJECT NO. 0000