

COVER SHEET

A0.01	3D RENDERINGS
A0.02	3D RENDERINGS

CIVIL

LANDSCAPE

- L0.1 PRELIMINARY LANDSCAPE PLAN
- L0.2 LANDSCAPE PLAN ENLARGEMENTS
- L0.3 PRELIMINARY SECTIONS
- L0.4 PRELIMINARY LANDSCAPE PLAN
- L0.5 PRELIMINARY LANDSCAPE PLAN
- L0.6a EXISTING TREE DISPOSITION PLAN
- L0.6b ARBORIST'S REPORT
- L0.7 LANDSCAPE LIGHTING PLAN

E1.1 ELECTRICAL SITE LIGHTING - PHOTOMETRIC CALCULATIONS

OWNER NAME:	WINDY HILL PROPERTY VENTURES	BUILDING AREA, OFFICE:	268,938 S.F.
PROJECT ADDRESS:	E 3RD AVENUE & S DELAWARE STREET SAN MATEO, CA 94401	TOTAL RESIDENTIAL UNITS:	111 UNITS
		NUMBER OF STORIES:	6
		CONSTRUCTION TYPE:	I-A, I-B
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	B, S-2 AND R-2

THIS IS A NEW 268,938 S.F. 6-STORY OFFICE AND RESIDENTIAL BUILDING WITH BELOW GRADE 2 LEVEL PARKING STRUCTURE ON A 65,888 S.F. LOT. SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORE, COMPLETE BUILD OUT OF RESIDENTIAL COMPONENT AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, ETC.

2019 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
2019 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
2019 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
2019 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
2019 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
2019 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

OWNER: WINDY HILL PROPERTY VENTURES
530 Emerson Street, Suite 150
Palo Alto, CA 94301

ARCHITECT: ARC TEC INC.
99 Almaden Boulevard, Suite 840
San Jose, CA 95113

LANDSCAPE ARCHITECT:	KLA, INC 151 N.Narin Street Sonoma, CA 95370 PHONE: 209.532.28.56 CONTACT: Tom Holloway EMAIL: tom@klnola.com	CIVIL ENGINEER:	BKF 255 Shoreline Drive, Suite 200 Redwood City, CA 94065 PHONE: 925.396.7726 CONTACT: Alyssa Jacobson, PE EMAIL: ajacobson@bkf.com
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VICINITY MAP

BLOCK 21

E 3RD AVENUE & S DELAWARE STREET SAN MATEO, CA 94401



2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California

1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

[illegible]



VIEW AT 3RD AND S. CLAREMONT ST

SCALE: NTS

1



ARC TEC
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ARC TEC is a professional architectural firm providing a wide range of services to its clients. The firm's services include architectural design, interior design, and construction management. The firm's design services are provided in a collaborative and transparent manner, ensuring that the client's vision is realized. The firm's construction management services are provided in a cost-effective and efficient manner, ensuring that the project is completed on time and within budget. The firm's interior design services are provided in a creative and functional manner, ensuring that the space is both beautiful and practical. The firm's services are provided in a professional and timely manner, ensuring that the client's needs are met.

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02-22-2021	PRELIM PLANNING SUBMITTAL
06-17-2021	PRELIM PLANNING RESUBMITTAL
07-30-2021	PRELIM PLANNING RESUBMITTAL II
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12-23-2021	2ND FORMAL PLANNING SUBMITTAL
03-29-2022	3RD FORMAL PLANNING SUBMITTAL

RENDERINGS

A 0.01

PROJECT NO. 205207



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ARC TEC is a leading architectural and engineering firm with over 30 years of experience in the design and construction of commercial, institutional, and residential buildings. The firm's expertise includes conceptual design, schematic design, design development, construction documents, and construction administration. ARC TEC is a member of the American Institute of Architects (AIA) and the National Association of Architectural Technicians (NAAT). The firm is committed to providing high-quality, innovative, and sustainable design solutions for its clients.

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03-29-2022	3RD FORMAL PLANNING SUBMITTAL

RENDERINGS

ENLARGED DETAIL AT ENTRY LOBBY

SCALE: NTS

1

A 0.02

PROJECT NO. 205207



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ARC TEC is a leading architectural firm specializing in the design and construction of commercial, institutional, and residential buildings. The firm's expertise includes conceptual design, schematic design, design development, construction documents, and construction administration. The firm's projects include office buildings, retail centers, hotels, and multi-family residential buildings. The firm's commitment to excellence is reflected in its high-quality work and its dedication to client satisfaction.

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PEDESTRIAN VIEW AT ENTRY LOBBY

SCALE: NTS

1

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02-29-2022	3RD FORMAL PLANNING SUBMITTAL

RENDERINGS

A 0.03

PROJECT NO. 205207



PEDESTRIAN VIEW AT ENTRY LOBBY

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1



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ARC TEC is a leader in the architectural technology industry, providing innovative solutions for the design and construction of buildings and infrastructure. Our team of experts is dedicated to delivering high-quality, sustainable, and cost-effective solutions for our clients. We are currently seeking qualified individuals for the following positions:

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RENDERINGS

A 0.04

PROJECT NO. 205207



PLANNING APPLICATION FOR:
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BLOCK 21
SAN MATEO, CA 94401

PEDESTRIAN VIEW-4TH AND S. DELAWARE ST.

RENDERINGS



PEDESTRIAN VIEW-4TH AVE

SCALE: NTS

1



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RENDERINGS

A 0.09

PROJECT NO. 205207



SCALE: NTS



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As the leader in the development of the architectural visualization industry, ARC TEC is proud to be the industry standard for architectural visualization. We have a proven track record of providing the highest quality architectural visualization services to our clients. Our team of experienced professionals is dedicated to providing the highest quality architectural visualization services to our clients. We have a proven track record of providing the highest quality architectural visualization services to our clients. We have a proven track record of providing the highest quality architectural visualization services to our clients.

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03-29-2022	3RD FORMAL PLANNING SUBMITTAL

RENDERINGS

A 0.011

PROJECT NO: 205207





RESIDENTIAL BALCONY

SCALE: NTS



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ARC TEC is a leading architectural and engineering firm with over 20 years of experience in the design and construction of commercial, institutional, and residential projects. We are currently seeking experienced professionals to join our team in the Phoenix and San Jose offices. For more information, please contact us at 602.953.2355 or 408.496.1121.

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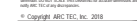
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RENDERINGS

A 0.014

PROJECT NO. 205207



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NEIGHBORHOOD CONTEXT

A 0.16

PROJECT NO: 205207

FIFTH LEVEL AREA PLAN

FOURTH LEVEL AREA PLAN

SIXTH LEVEL AREA PLAN

PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	51,340 SQ. FT.
STAIR #1	292 SQ. FT.
STAIR #3	341 SQ. FT.
OFFICE ELEVATORS	228 SQ. FT.
TOTAL:	52,940 SQ. FT.
SECOND LEVEL	
OFFICE AREA	57,845 SQ. FT.
STAIR #1	280 SQ. FT.
STAIR #2	280 SQ. FT.
STAIR #3	382 SQ. FT.
SHAFTS	211 SQ. FT.
OFFICE ELEVATORS	228 SQ. FT.
TOTAL:	59,134 SQ. FT.
THIRD LEVEL	
OFFICE AREA	52,462 SQ. FT.
STAIR #1	280 SQ. FT.
STAIR #2	280 SQ. FT.
STAIR #3	382 SQ. FT.
SHAFTS	211 SQ. FT.
OFFICE ELEVATORS	228 SQ. FT.
TOTAL:	53,751 SQ. FT.
FOURTH LEVEL	
OFFICE AREA	7,958 SQ. FT.
STAIR #1	340 SQ. FT.
SHAFT	216 SQ. FT.
STAIR #3	382 SQ. FT.
OFFICE ELEVATORS	228 SQ. FT.
TOTAL:	9,064 SQ. FT.
FIFTH LEVEL	
OFFICE AREA	6,648 SQ. FT.
STAIR #1	246 SQ. FT.
SHAFT	216 SQ. FT.
STAIR #3	382 SQ. FT.
OFFICE ELEVATORS	228 SQ. FT.
TOTAL:	7,679 SQ. FT.

FAR FLOOR AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	51,743 SQ. FT.
RESIDENTIAL SPACE	3,366 SQ. FT.
STAIR #1	29.50 SQ. FT.
STAIR #2 (RES)	212.50 SQ. FT.
STAIR #3	341.50 SQ. FT.
PARKING RAMP	1,192.50 SQ. FT.
RESIDENTIAL ELEVATORS	146.50 SQ. FT.
OFFICE ELEVATORS	29.50 SQ. FT.
FLOOR AREA RESIDENTIAL*	5,420.50 SQ. FT.
	3,732.50 SQ. FT.
<u>SECOND LEVEL</u>	
OFFICE AREA	57,845 SQ. FT.
FLOOR AREA OFFICE*	57,845 SQ. FT.
<u>THIRD LEVEL</u>	
OFFICE AREA	52,462 SQ. FT.
FLOOR AREA OFFICE*	52,462 SQ. FT.
<u>FOURTH LEVEL</u>	
OFFICE AREA	8,318 SQ. FT.
RESIDENTIAL AREA	28,924 SQ. FT.
FLOOR AREA OFFICE*	8,318 SQ. FT.
FLOOR AREA RESIDENTIAL*	28,924 SQ. FT.
<u>FIFTH LEVEL</u>	
OFFICE AREA	6,448 SQ. FT.
RESIDENTIAL AREA	30,476 SQ. FT.
FLOOR AREA OFFICE*	6,448 SQ. FT.
FLOOR AREA RESIDENTIAL*	30,476 SQ. FT.
<u>SIXTH LEVEL</u>	
RESIDENTIAL AREA	26,246 SQ. FT.
FLOOR AREA RESIDENTIAL*	26,246 SQ. FT.

PPE San Mateo Municipal Code 27.04.20.02 Measurement, other than single-family dwellings in r zoning districts.





- (1) Floor area is measured from the exterior facade of the building's walls, including porches, balconies, and other areas that are three feet from the edge of a curb, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height.
- (2) Elevation. The building net area shall be measured before being added as additional floor area. Floor area also include all accessory structures on the site and easements that may be defined in subdivision (b)(5)(c).
- (3) Elevation. The building net area shall be measured before being added as additional floor area.
- (4) Covered open space attached to the building's ground floor, provided that the area is not used as dwelling, office, retail, or required access:

 - (a) In multi-level buildings, covered courts, if the retaining walls are the same as the building's walls, and stairs and elevators shall be counted only at ground-floor level.
 - (b) Covered walkways and balconies.
 - (c) First floors, mechanical areas, porches, and stairs are counted only at ground-floor level, regardless of height.
 - (d) Bicycle parking facilities.

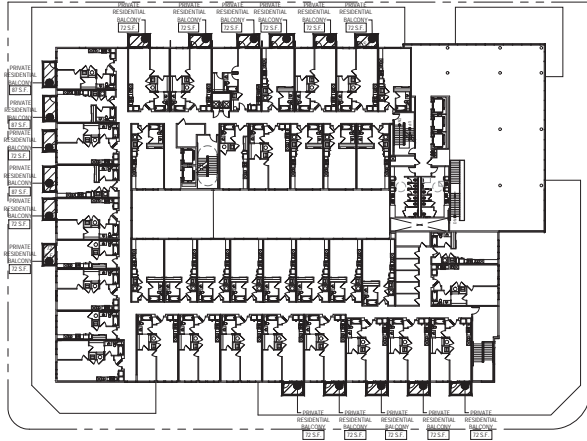
- (5) Floor area designed for day care centers accessible to and intended for use by a multi-family community or manufacturing use. Each floor area is located adjacent to the primary structure and floor area is freestanding structure accessible to the primary structure.
- (6) Covered parking for office use shall not be counted as floor area in the building's footprint, but shall be counted as an accessory structure.

Marine's Island Specific Plan or the Bay Meadows Specific Plan.

FAR AREA DESIGNATION

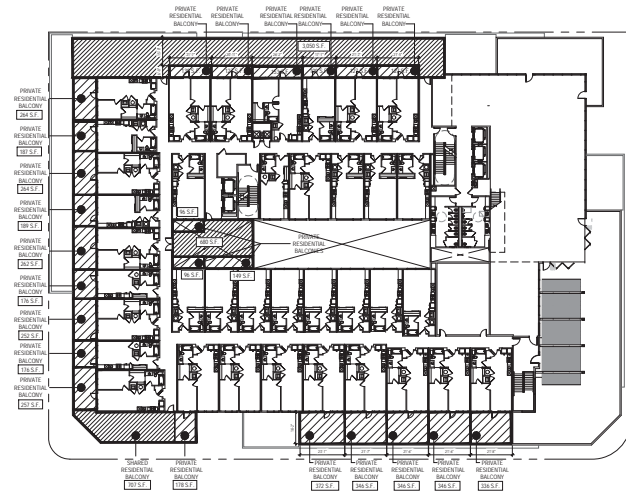
	OFFICE AREA
	RESIDENTIAL AREA
	AREAS EXCLUDED FROM FAR CALCULATIONS
	OPEN TO BELOW AREA ADDED TO FAR CALCULATIONS

TOTAL FAR FLOOR AREA OFFICE: 179,560 SQ.FT.
TOTAL FAR FLOOR AREA RESIDENTIAL: 89,378 SQ.FT.
TOTAL PARKING FLOOR AREA : 182,146 SQ.FT.



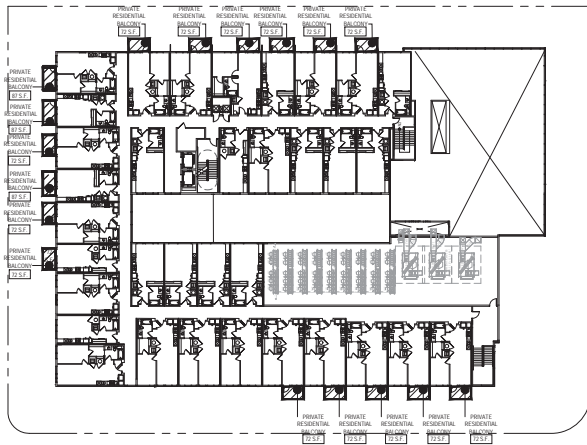
FIFTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



FOURTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



SIXTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"

USABLE OPEN SPACE CALCULATIONS

PER SBMAC 27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

(G) OPEN SPACE. RESIDENTIAL DEVELOPMENT SHALL INCLUDE PRIVATE USABLE OPEN SPACE EQUAL TO AT LEAST 80 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) PER DWELLING UNIT OR COMMON USABLE OPEN SPACE EQUAL TO AT LEAST 150% OF THE PRIVATE USABLE OPEN SPACE REQUIREMENTS, OR A COMBINATION OF BOTH.

PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) AND SHALL NOT BE LESS THAN SIX (6) FEET IN ANY DIMENSION.

57 RESIDENTIAL UNITS HAVE PRIVATE OPEN SPACE MEETING THE ABOVE REQUIREMENTS:
PROVIDED PRIVATE OPEN SPACE = 7,087 S.F.

54 UNITS REQUIRE COMMON OPEN SPACE (54 X (57 S.F. X 1.5)) = 4,415 S.F.
PROVIDED COMMON OPEN SPACE = 4,415 S.F.

TOTAL REQUIRED OPEN SPACE MEET THROUGH COMBINATION OF PRIVATE AND COMMON OPEN SPACE.

TOTAL PROVIDED OPEN SPACE PRIVATE + COMMON = 11,702 S.F.

OPEN SPACE LEGEND

- PRIVATE OPEN SPACE
- COMMON OPEN

2019 CPC TABLE 422.1 - MINIMUM PLUMBING FACILITIES (EXCERPT)									
Each building shall be provided with sanitary facilities, including provisions for persons with disabilities as prescribed by the Department Having Jurisdiction. Table 422.1 applies to new buildings, additions to a building, and changes of occupancy or type in an existing building resulting in increased occupant load, in accordance with Sections 1.8.7 and 301.3, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures.									
For requirements for persons with disabilities, Chapter 11A or 11B of the California Building Code shall be used.									
The total occupant load shall be determined in accordance with the Occupant Load Factor Table A.									
Water Closets ¹ (Persons per Fixture)		Lavatories (Persons per Fixture)		Urinals (Persons per Fixture)		Bathrooms or Showers (Persons per Fixture)		Drinking Fountains (Persons per Fixture)	Other
A.2 Assembly occupancy - restaurants, pubs, lounges, night clubs and banquet halls									
Male	Female	Male	Female	Male	Female	Male	Female	1:1-250	1 service sink or laundry tray
1:1-150	1:1-125	1:1-150	1:1-150	1:1-200	1:1-200	2:201-500	2:201-500	3:501-750	
2:51-150	2:26-50	2:151-200	2:151-200	2:201-400	2:201-400	3:301-400	3:301-400	4:401-600	
3:151-300	3:51-100	3:201-400	3:201-400	4:201-400	4:201-400	5:401-600	5:401-600	6:601-800	
4:301-400	4:101-200	6:201-300	6:201-300	8:301-400	8:301-400				
Over 400, add 1 fixture for each additional 250 males and 1 for each additional 125 females.		Over 400, add 1 fixture for each additional 250 males and 1 fixture for each additional 125 females.		Over 400, add 1 fixture for each additional 300 males.		Over 750, add 1 fixture for each additional 300 males.		Over 750, add 1 fixture for each additional 300 males.	
B Business occupancy (office, professional or service type transactions) - banks, vet clinics, hospitals, car wash, banks, beauty salons, ambulatory health care facilities, barbers, and dry cleaning, educational institutions (above high school), or training facilities not located within school, post offices and printing shops									
Male	Female	Male	Female	Male	Female	1 per 150		1 service sink or laundry tray	
1:1-150	1:1-115	1:1-115	1:1-150	1:1-100	1:1-100	2:101-200	2:101-200		
2:201-300	2:16-30	2:16-30	2:21-100	2:21-100	2:21-100	3:201-400	3:201-400		
3:301-400	3:31-100	3:31-100	3:31-100	3:31-100	3:31-100	4:401-600	4:401-600		
4:401-600	4:41-100	4:41-100	4:41-100	4:41-100	4:41-100	5:601-800	5:601-800		
5:601-800	5:301-400	5:301-400	5:301-400	5:301-400	5:301-400	6:801-1000	6:801-1000		
6:801-1000	6:301-400	6:301-400	6:301-400	6:301-400	6:301-400				
Over 400, add 1 fixture for each additional 500 males and 1 for each additional 150 females.		Over 750, add 1 fixture for each additional 250 males and 1 for each additional 150 females.		Over 600, add 1 fixture for each additional 300 males.					

- The figures shown are based upon (1) fixture being the minimum required for the number of persons indicated or any fraction thereof.
- A restaurant is defined as a business that sells food to be consumed on the premises.
 - The number of occupants for a drive-in restaurant shall be considered as equal to the number of parking stalls.
 - Hand-washing facilities shall be available in the kitchen for employees.
- The total number of required water closets for females shall not be less than the total number of required water closets and urinals for males. This requirement shall not apply when single occupancy toilet facilities are provided for each sex in an A or E occupancy with an occupant load of less than 50. Either:
 - The required urinal shall be permitted to be omitted or
 - If installed, the urinal shall not require a second water closet to be provided for the female.
- In accordance with Sections 1.8.7 and 301.3, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures.
- Building categories not shown on this table shall be considered separately by the Authority Having Jurisdiction.
- Drinking fountains shall not be installed in toilet rooms.
- Not applicable.

TABLE A. OCCUPANT LOAD FACTOR		
OCCUPANCY ¹ - **		OCCUPANT LOAD FACTOR (square feet)
Group A		
1. Auditoriums, convention halls, dance floors, lodge rooms, stadiums, and casinos (where no fixed seating is provided) (see 102 "one-half" the number of fixed seating).	15	
2. Conference rooms, dining rooms, drinking establishments, exhibit rooms, gymnasiums, lounges, stages, and similar uses, including restaurants ² classified as Group B occupancies	30	
3. Working places, principal assembly areas, educational and activity unit (where no fixed seating is provided) (see 102 "one-half" the number of fixed seating).	30	
Group B		
Office or public buildings (areas accessible to the public)	200	

- * Any uses not specifically listed shall be based on similar uses listed in this table.
- ** For building or space with mixed occupancies, use appropriate occupancy group for each area (for example, a school may have an "A" occupancy for the gymnasium, a "B" occupancy for the office, an "E" occupancy for the classrooms, etc.).
- Accessory areas may be included (for example, hallway, restroom, stair enclosure).

FIRE RESISTANCE

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601)											
BUILDING ELEMENT	TYPE I A	TYPE I B	TYPE IIA ¹	TYPE IIB	TYPE IIB	TYPE IIB	TYPE IIB	TYPE IIB	TYPE IIB	TYPE IIB	TYPE IIB
Primary Structural Frame ¹ (See Section 204)	2 ¹	2 ¹	1	0	1	0	HT	1	0		
Bearing Walls - Exterior ¹	3	2	1	0	2	2	2	1	0		
Interior	3 ¹	2 ¹	1	0	1	0	UNT	1	0		
Nonbearing Walls And Partitions - Exterior	See Table 602										
Nonbearing Walls And Partitions - Interior	0	0	0	0	0	0	0	0	0	0	0
Floor Construction and Associated Secondary Members (See Section 202)	2	2	1	0	1	0	HT	1	0		
Roof Construction and Associated Secondary Members (See Section 202)	1:1 ¹	1 ¹	0 ¹	0 ¹	1 ¹	0	HT	1 ¹	0		

- Roof supports. Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
- Except if Group A, E, F, H, L, M, R, S, R-2, R-2.1 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant treated wood members shall be allowed to be used for such unprotected members.
- For Group A, E, L, R-1, R-2, and R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant treated wood members shall be allowed to be used for such unprotected members.
- For one-story portions of Group A and E assembly occupancies the roof framing system of Type I A or Type I I A construction may be of unprotected construction when such roof framing system is open to the assembly area and does not contain concealed spaces.
- In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.
- Not less than the fire-resistance rating required by other sections of this code.
- Not less than the fire-resistance rating based on fire separation distance (See Table 602).
- Not less than the fire-resistance rating as referenced in Section 704.10.

PLUMBING FIXTURE TABULATIONS

FIRST FLOOR

A-2 OCCUPANCY NET AREA: 8,567 S.F.

8,567 S.F. / 30 S.F. PER PERSON = 285.4 PERSONS; ROUND UP TO 286 PERSONS

143 MEN, 143 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(143/150) X 2 = 1.91	WATER CLOSETS:	(143/200) X 4 = 2.86
URINALS:	(143/200) X 1 = .72	URINALS:	(143/500) X 1 = .29
LAVATORIES:	(143/500) X 1 = .29	LAVATORIES:	(143/150) X 1 = .95

B OCCUPANCY NET AREA: 41,614 S.F.

34,268 S.F. / 200 S.F. PER PERSON = 171.34 PERSONS; ROUND UP TO 172 PERSONS

86 MEN, 86 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(86/100) X 2 = 1.72	WATER CLOSETS:	(86/100) X 4 = 3.44
URINALS:	(86/100) X 1 = .86	URINALS:	(86/500) X 1 = .17
LAVATORIES:	(86/500) X 2 = 1.15	LAVATORIES:	(86/100) X 2 = 1.72

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR FIRST FLOOR OFFICE

PER CBC SECTION 422.1 WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	3.43 ROUND TO 4	WATER CLOSETS:	6.3 ROUND TO 7
URINALS:	1.58 ROUND TO 2	URINALS:	1.27 ROUND TO 1
LAVATORIES:	2.11 ROUND TO 3	LAVATORIES:	2.67 ROUND TO 3

MEN'S FIXTURES	PROVIDED	WOMEN'S FIXTURES	PROVIDED
WATER CLOSETS:	4	WATER CLOSETS:	8
URINALS:	4	URINALS:	5
LAVATORIES:	5	LAVATORIES:	5

SECOND FLOOR

A-2 OCCUPANCY NET AREA: 10,404 S.F.

10,404 S.F. / 30 S.F. PER PERSON = 346.8 PERSONS; ROUND UP TO 347 PERSONS

174 MEN, 174 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(174/200) X 3 = 1.74	WATER CLOSETS:	(174/200) X 4 = 3.48
URINALS:	(174/200) X 1 = .87	URINALS:	(174/500) X 1 = .35
LAVATORIES:	(174/500) X 2 = 1.74	LAVATORIES:	(174/100) X 2 = 1.74

B OCCUPANCY NET AREA: 41,614 S.F.

41,614 S.F. / 200 S.F. PER PERSON = 208.07 PERSONS; ROUND UP TO 209 PERSONS

103 MEN, 103 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(103/200) X 3 = 1.55	WATER CLOSETS:	(103/200) X 4 = 5.08
URINALS:	(103/200) X 2 = 1.03	URINALS:	(103/500) X 1 = .21
LAVATORIES:	(103/500) X 2 = 1.38	LAVATORIES:	(103/100) X 3 = 2.06

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR SECOND FLOOR OFFICE

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	3.29 ROUND TO 4	WATER CLOSETS:	8.56 ROUND TO 9
URINALS:	1.40 ROUND TO 2	URINALS:	1.27 ROUND TO 1
LAVATORIES:	3.12 ROUND TO 4	LAVATORIES:	3.8 ROUND TO 5

MEN'S FIXTURES	PROVIDED	WOMEN'S FIXTURES	PROVIDED
WATER CLOSETS:	6	WATER CLOSETS:	11
URINALS:	5	URINALS:	6
LAVATORIES:	6	LAVATORIES:	6

THIRD FLOOR OFFICE

A-2 OCCUPANCY NET AREA: 1,620 S.F. (EXTERIOR)

1,620 S.F. / 30 S.F. PER PERSON = 54 PERSONS

27 MEN, 27 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(27/150) X 1 = 0.54	WATER CLOSETS:	(27/200) X 2 = 1.08
URINALS:	(27/200) X 1 = 0.14	URINALS:	(27/500) X 1 = 0.05
LAVATORIES:	(27/500) X 1 = 0.18	LAVATORIES:	(27/100) X 1 = 0.18

A-2 OCCUPANCY NET AREA: 10,147 S.F. (INTERIOR)

10,147 S.F. / 30 S.F. PER PERSON = 338.23 PERSONS; ROUND UP TO 339 PERSONS

170 MEN, 170 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(170/200) X 3 = 1.7	WATER CLOSETS:	(170/200) X 4 = 3.4
URINALS:	(170/200) X 1 = .85	URINALS:	(170/500) X 1 = .34
LAVATORIES:	(170/500) X 2 = 1.7	LAVATORIES:	(170/100) X 2 = 1.7

B OCCUPANCY NET AREA: 40,587 S.F.

40,587 S.F. / 200 S.F. PER PERSON = 202.94 PERSONS; ROUND UP TO 203 PERSONS

102 MEN, 102 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(102/200) X 3 = 1.51	WATER CLOSETS:	(102/200) X 4 = 5.08
URINALS:	(102/200) X 2 = 1.02	URINALS:	(102/500) X 1 = .20
LAVATORIES:	(102/500) X 2 = 1.69	LAVATORIES:	(102/100) X 3 = 2.54

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR THIRD FLOOR OFFICE

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	4.15 ROUND TO 5	WATER CLOSETS:	9.56 ROUND TO 10
URINALS:	2.26 ROUND TO 3	URINALS:	1.27 ROUND TO 1
LAVATORIES:	3.57 ROUND TO 4	LAVATORIES:	4.42 ROUND TO 5

MEN'S FIXTURES	PROVIDED	WOMEN'S FIXTURES	PROVIDED
WATER CLOSETS:	6	WATER CLOSETS:	11
URINALS:	5	URINALS:	6
LAVATORIES:	6	LAVATORIES:	6

FOURTH AND FIFTH FLOOR OFFICE

5,980 S.F. / 30 S.F. PER PERSON = 199.33 PERSONS; ROUND UP TO 199 PERSONS

94 MEN, 94 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(94/150) X 2 = 1.25	WATER CLOSETS:	(94/200) X 3 = 2.82
URINALS:	(94/200) X 1 = 0.47	URINALS:	(94/500) X 1 = 0.63
LAVATORIES:	(94/500) X 1 = 0.63	LAVATORIES:	(94/100) X 1 = 0.63

A OCCUPANCY NET AREA: 8,877 S.F. (INTERIOR)

8,877 S.F. / 30 S.F. PER PERSON = 295.9 PERSONS; ROUND UP TO 296 PERSONS

148 MEN, 148 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	(148/150) X 2 = 1.97	WATER CLOSETS:	(148/200) X 4 = 2.96
URINALS:	(148/200) X 1 = 0.74	URINALS:	(148/500) X 1 = 0.99
LAVATORIES:	(148/500) X 1 = 0.99	LAVATORIES:	(148/100) X 1 = 0.99

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR FOURTH AND FIFTH FLOOR OFFICE

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS:	3.22 ROUND TO 4	WATER CLOSETS:	5.78 ROUND TO 6
URINALS:	1.11 ROUND TO 2	URINALS:	1.62 ROUND TO 2
LAVATORIES:	1.62 ROUND TO 2	LAVATORIES:	1.62 ROUND TO 2

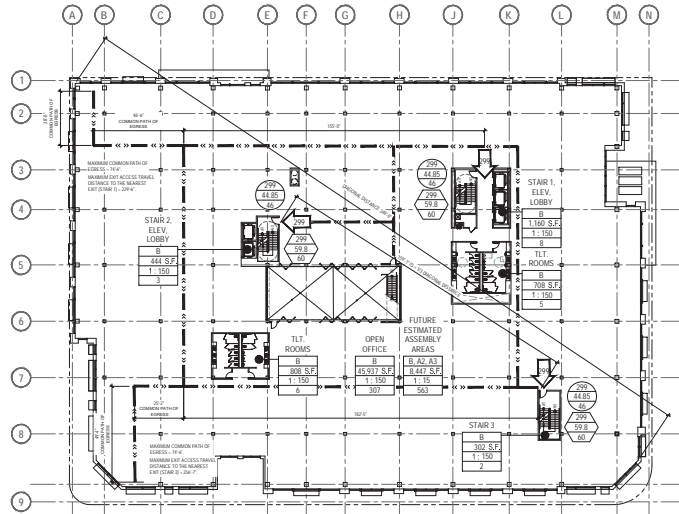
MEN'S FIXTURES	PROVIDED	WOMEN'S FIXTURES	PROVIDED
WATER CLOSETS:	4	WATER CLOSETS:	6
URINALS:	2	URINALS:	3
LAVATORIES:	3	LAVATORIES:	3

ALLOWABLE BUILDING AREA

ABOVE-GRADE BUILDING (OFFICE AND RESIDENTIAL)			
CONSTRUCTION TYPE: 1 - B			
AUTOMATIC SPRINKLER CONFIGURATION:		SM (BUILDING TWO OR MORE STORIES ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.1.1)	
		OCCUPANCY CLASSIFICATION	
B		B-2	
MAXIMUM HEIGHT (TABLE 504.2)		180'-0"	180'-0" 180'-0"
MAXIMUM NUMBER OF STORIES (TABLE 504.4)		12	12 12
SM ALLOWABLE AREA FACTOR (TABLE 504.2)		UNLIMITED	UNLIMITED UNLIMITED
NS AREA FACTOR (TABLE 506.2)		UNLIMITED	UNLIMITED UNLIMITED
HEIGHT OF PROPOSED BUILDING		60'-0" (TOP OF ROOF)	
NUMBER OF STORIES ABOVE GRADE		6	
PROPOSED AREA PER FLOOR			
GRADE LEVEL		57,430 S.F.	B
SECOND LEVEL		59,284 S.F.	A, B, R, R,2
THIRD LEVEL		55,664 S.F.	B
FOURTH LEVEL		34,453 S.F.	A,2, B, R,2
FIFTH LEVEL		30,499 S.F.	A,2, R,2
TOTAL BUILDING AREA ABOVE GRADE		227,540 S.F.	

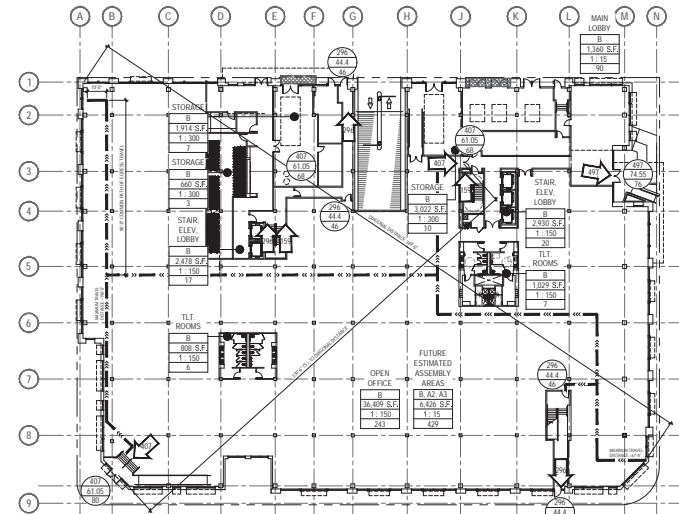
BELOW GRADE BUILDING (PARKING GARAGE)

CONSTRUCTION TYPE: 1 - A		
OCCUPANCY CLASSIFICATION: S-2		
AUTOMATIC SPRINKLER CONFIGURATION:		S1 (BUILDING A MAXIMUM OF ONE STORY ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.1.1)
		OCCUPANCY CLASSIFICATION
		S-2
MAXIMUM HEIGHT (TABLE 504.2)		UNLIMITED
MAXIMUM NUMBER OF STORES (TABLE 504.4)		UNLIMITED
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)		UNLIMITED
NS AREA FACTOR (TABLE 506.2)		UNLIMITED
PROPOSED AREA PER FLOOR		
BUILDING LEVEL		BUILDING AREA
PARKING LEVEL -2		64,346 S.F.
PARKING LEVEL -1		64,346 S.F.
TOTAL BUILDING AREA BELOW GRADE		128,692 S.F.



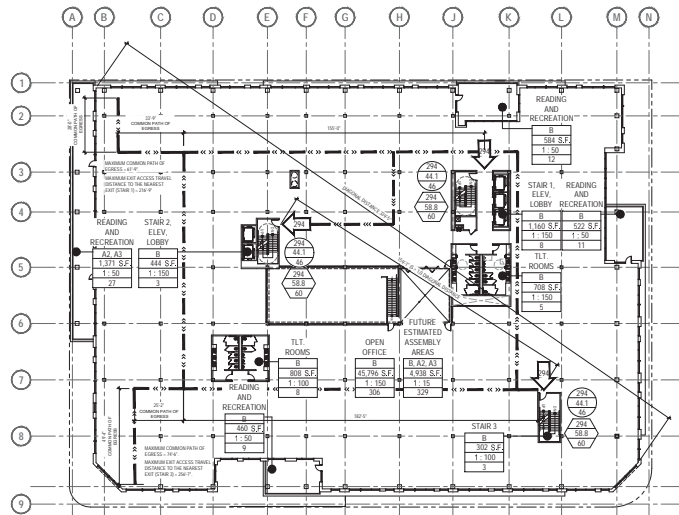
SECOND LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FIRST LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



THIRD LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION

ROOM NAME	OCCUPANCY CLASSIFICATION OF THE SPACE
B	SQUARE FOOTAGE
12,444 S.F.	OCCUPANT LOAD FACTOR
1-150	NUMBER OF OCCUPANTS

STAIRWAY OCCUPANT LOAD DESIGNATION

STAIRWAY	NUMBER OF OCCUPANTS
100	STAIR WIDTH REQUIRED (INCHES)
300	STAIR WIDTH PROVIDED (INCHES)

DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION

DIRECTION OF EGRESS	OCCUPANT LOAD
100	100
300	300

EXIT SIGNAGE DESIGNATION

SIGN FACE DIRECTION	DIRECTION OF TRAVEL
100	100
300	300

DOORWAY OCCUPANT LOAD DESIGNATION

DOORWAY	NUMBER OF OCCUPANTS
100	EXIT WIDTH REQUIRED
300	EXIT WIDTH PROVIDED

PATH OF TRAVEL DESIGNATION

PATH OF TRAVEL	EXIT IN ONE DIRECTION
100	EXIT IN BOTH DIRECTIONS
300	EXIT IN BOTH DIRECTIONS

FIRE EXTINGUISHERS AND FIRE HOSES

FIRE EXTINGUISHER	FIRE HOSE
100	100
300	300

RATED SEPARATION DESIGNATION

RATED SEPARATION	1 HOUR RATED FIRE SEPARATION
100	2 HOUR RATED FIRE SEPARATION
300	2 HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AN EMERGENCY VOICELARM SYSTEM PER CBC SECTION 907.5.2.2 IN ADDITION TO THE AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.2' PER PERSON FOR STAIRS AND 0.15' PER PERSON FOR OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



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ARC TEC is a full-service architectural and engineering firm. We provide a wide range of services to our clients, including architectural design, engineering, and construction management. We have a proven track record of delivering high-quality projects on time and within budget. Our team is composed of experienced professionals who are dedicated to providing exceptional service to our clients. We are proud to be a part of the ARC TEC family and look forward to continuing our growth and success in the future.

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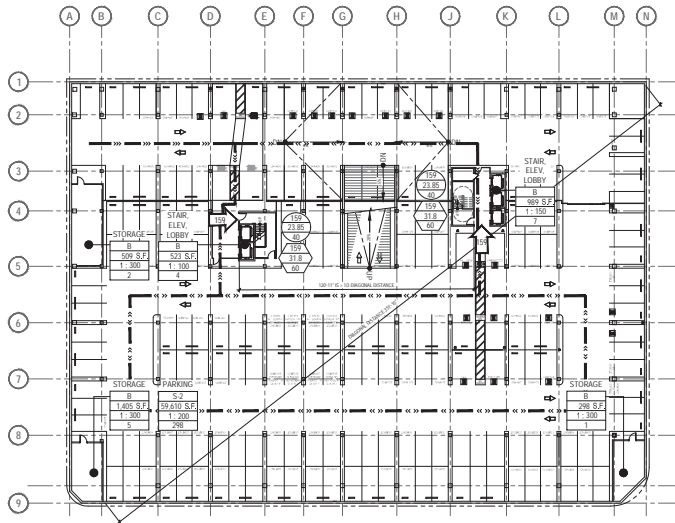
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02-23-2021	PRELIM PLANNING SUBMITTAL
06-17-2021	PRELIM PLANNING RESUBMITTAL
07-30-2021	PRELIM PLANNING RESUBMITTAL II
10-01-2021	1ST FORMAL PLANNING SUBMITTAL
12-23-2021	2ND FORMAL PLANNING SUBMITTAL
03-29-2022	3RD FORMAL PLANNING SUBMITTAL

EGRESS DIAGRAM

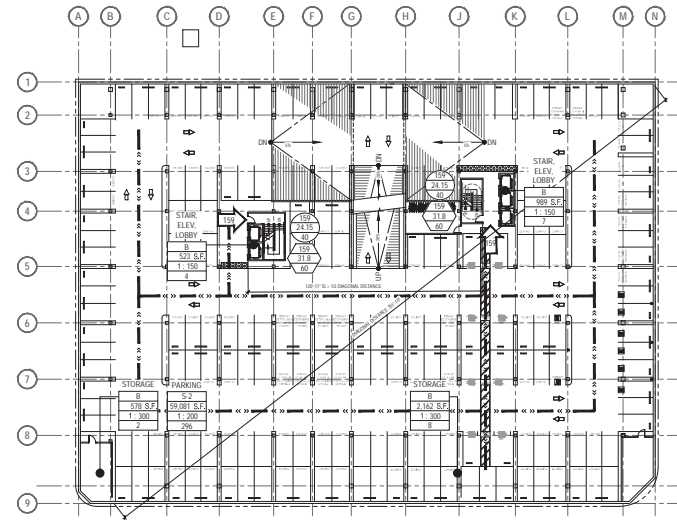
A 0.32

PROJECT NO. 205207



B2 LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



B1 LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



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PHOTO: JEFFREY M. HARRIS, BUILDING
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WINTER SOLSTICE - 9 AM
SCALE: N.T.S. 10



AUTUMN EQUINOX - 9 AM
SCALE: N.T.S. 7



SUMMER SOLSTICE - 9 AM
SCALE: N.T.S. 4



SPRING EQUINOX - 9 AM
SCALE: N.T.S. 1



WINTER SOLSTICE - 12 PM
SCALE: N.T.S. 11



AUTUMN EQUINOX - 12 PM
SCALE: N.T.S. 8



SUMMER SOLSTICE - 12 PM
SCALE: N.T.S. 5



SPRING EQUINOX - 12 PM
SCALE: N.T.S. 2



WINTER SOLSTICE - 3 PM
SCALE: N.T.S. 12



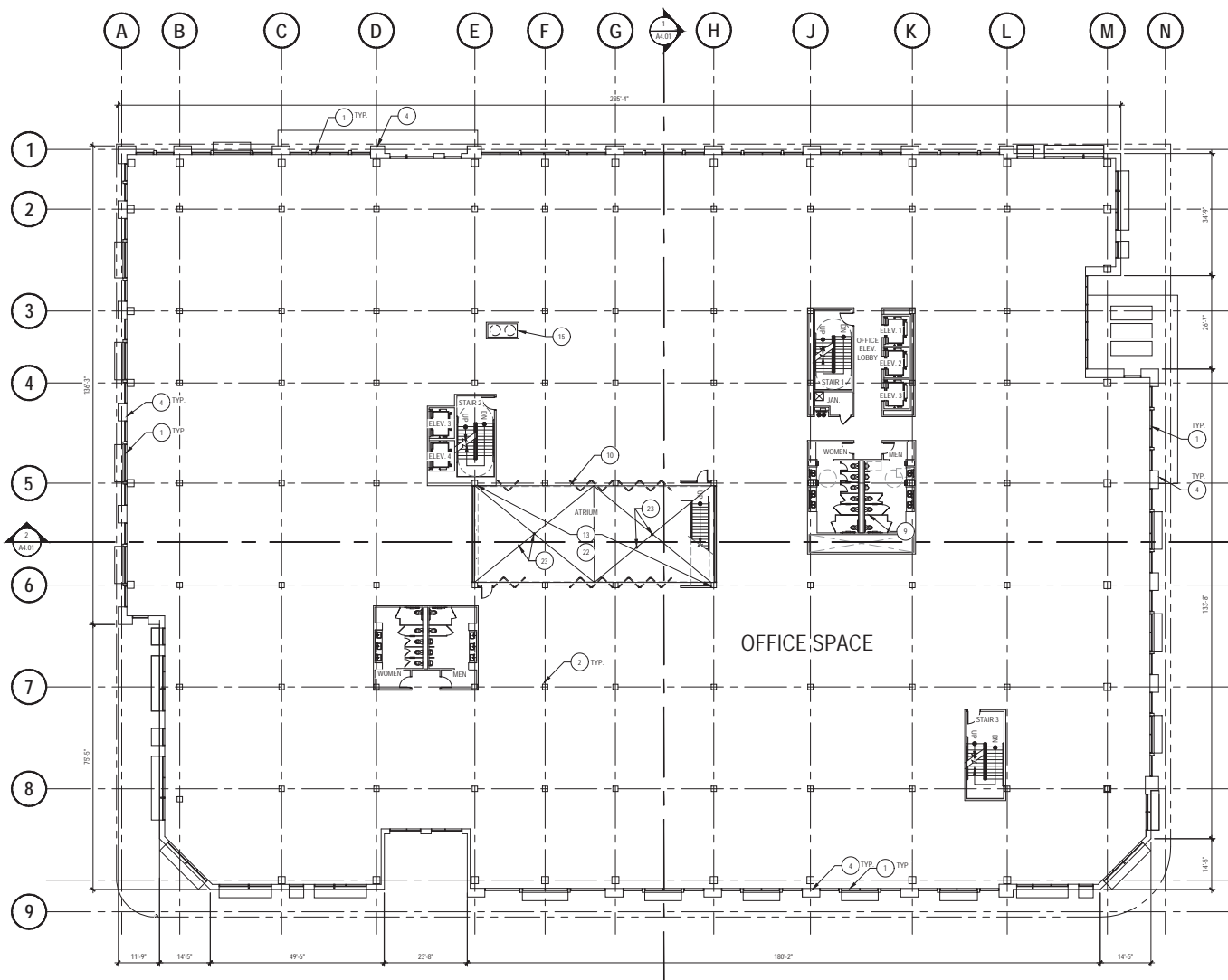
AUTUMN EQUINOX - 3 PM
SCALE: N.T.S. 9



SUMMER SOLSTICE - 3 PM
SCALE: N.T.S. 6



SPRING EQUINOX - 3 PM
SCALE: N.T.S. 3



SECOND LEVEL PLAN

- ## KEYNOTES

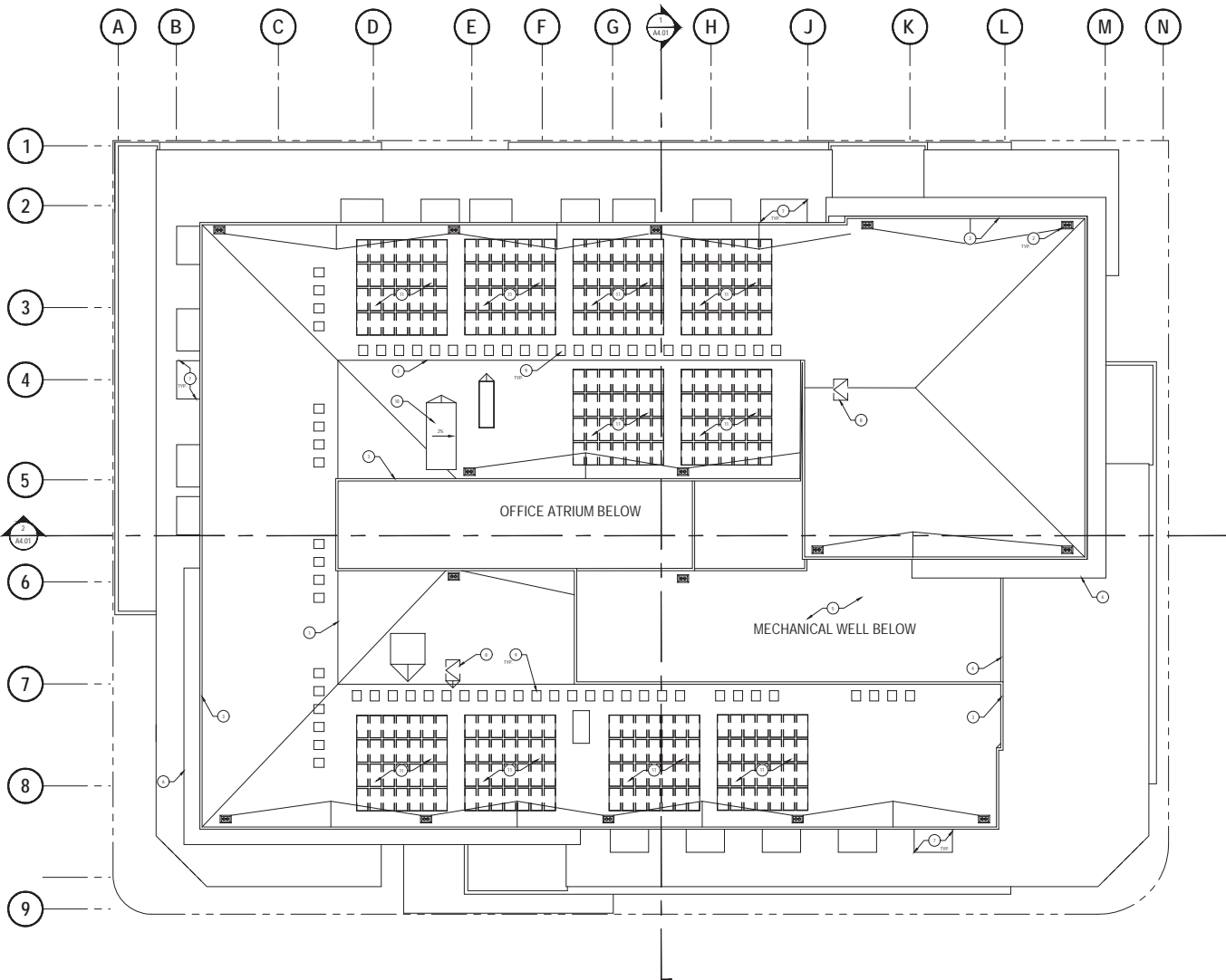
- 1 EXTERIOR GLAZING SYSTEM: REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 RESIDENTIAL BALCONY
- 4 EXTERIOR WALL: REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL: REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 7 ROOF SCREEN
- 8 LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA: SEE A1.01 FOR BICYCLE PARKING CALCULATIONS
- 9 SHIRT
- 10 NANANBALL GLASS PARTITION
- 11 EXIT PASSAGEWAY
- 12 RAMP DOWN TO BELOW GRADE PARKING
- 13 OPEN TO ABOVE
- 14 OPEN TO AREA BELOW AND ABOVE - ALL EXTERIOR WALLS TO COMPLY WITH APPLICABLE CODES.
- 15 TRASH CHUTE
- 16 LINE OF MEZZANINE ABOVE
- 17 LINE OF BALCONIES ABOVE
- 18 PATIO DIVIDERS
- 19 BALCONY BELOW
- 20 FIRE DEPT KNOX SHUT OFF LOCATION
- 21 LINE OF SOLID WASTE STAGING AREA
- 22 STRUCTURAL SLAB AND TOPPING SLAB/JOINT PAVERS IN OPEN TO ABOVE SPACE: TO BE SLOPED FOR POSITIVE DRAINAGE
- 23 FLOOR DRAIN AND OVEFLOW TO BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM



RESIDENTIAL UNITS COUNT:

STUDIOS	53 (48%)
1BR	58 (52%)
	111

PROJECT NO: 205207



ROOF LEVEL PLAN

SCALE: 1/16" = 1'-0"



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 RIDGE
- 2 ROOF DRAIN AND OVERFLOW
- 3 PARAPET WALL, SEE ELEVATION FOR HEIGHTS
- 4 ROOF SCREEN, SEE ELEVATION FOR HEIGHTS
- 5 MECHANICAL UNITS BELOW
- 6 LINE OF CANOPY BELOW
- 7 BALCONY BELOW
- 8 ROOF ACCESS HATCH, 4'X6' MIN. (TO MEET SMMC 23.54 (90.42 SECURITY STANDARDS)
- 9 RESIDENTIAL ROOF TOP MECHANICAL UNITS, FINAL SIZE AND LOCATION TO BE DETERMINED
- 10 ELEVATOR SHAFT
- 11 PER SMMC 23.24.030
A 5 KW PHOTOVOLTAIC SYSTEM REQUIRED FOR NON-RESIDENTIAL GREATER THAN 10,000 SQUARE FEET
A 3 KW PHOTOVOLTAIC SYSTEM REQUIRED FOR MULTI-FAMILY RESIDENTIAL 17 UNITS OR MORE
AT 15.1% EFFICIENCY 1 SQUARE FOOT = 15 WATTS
TOTAL BROW 15 WATTS = TOTAL SQUARE FEET REQUIRED
153.33 SQUARE FEET REQUIRED
OPTION 1 & 2 CONSIST OF ARRAYS OF 26 PANELS @ STANDARD 77'X39'
EACH OPTION PROVIDES 142 SQUARE FEET

ROOF PLAN GENERAL NOTES

1. ROOFING TO A MINIMUM AGED SOLAR REFLECTANCE OF 0.70 AND A MINIMUM THERMAL EMITTANCE OF 0.85
- OR
2. A MINIMUM SOLAR REFLECTANCE INDEX (SRI) OF 85



ARC TEC
ARCHITECTURAL TECHNOLOGIES

Arizona
1902 East New Street, Suite 100
Phoenix, AZ 85008 602.953.2355

California
1731 Technology Drive, Suite 100
San Jose, CA 95131 408.496.1121

ARC TEC is a leader in the design and construction of sustainable buildings. We have a proven track record of delivering high-quality, sustainable buildings that meet the needs of our clients. Our team of experienced architects, engineers, and construction professionals work together to create buildings that are not only sustainable but also beautiful and functional. We are proud to be a part of the sustainable building movement and we are committed to delivering the best possible results for our clients.

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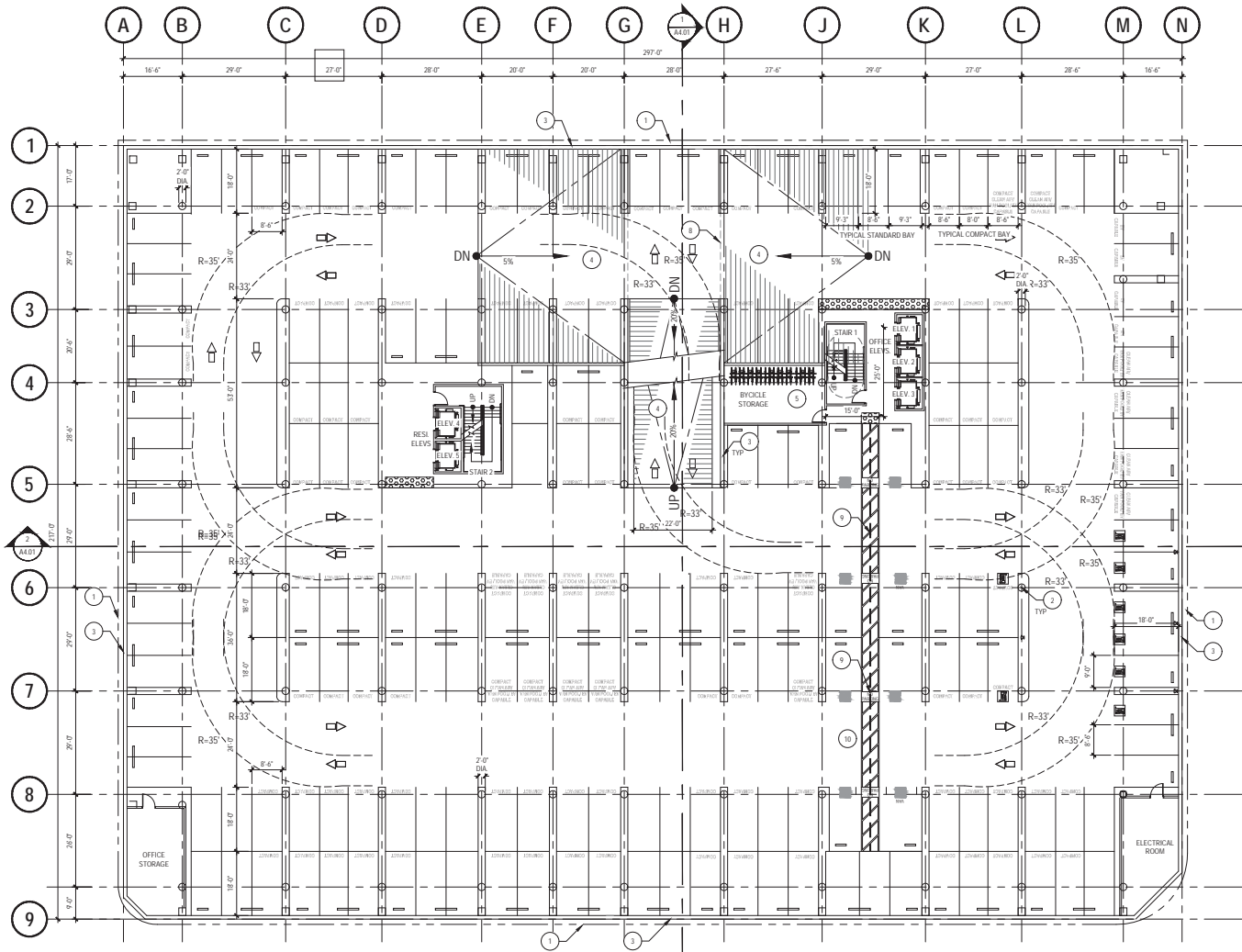
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

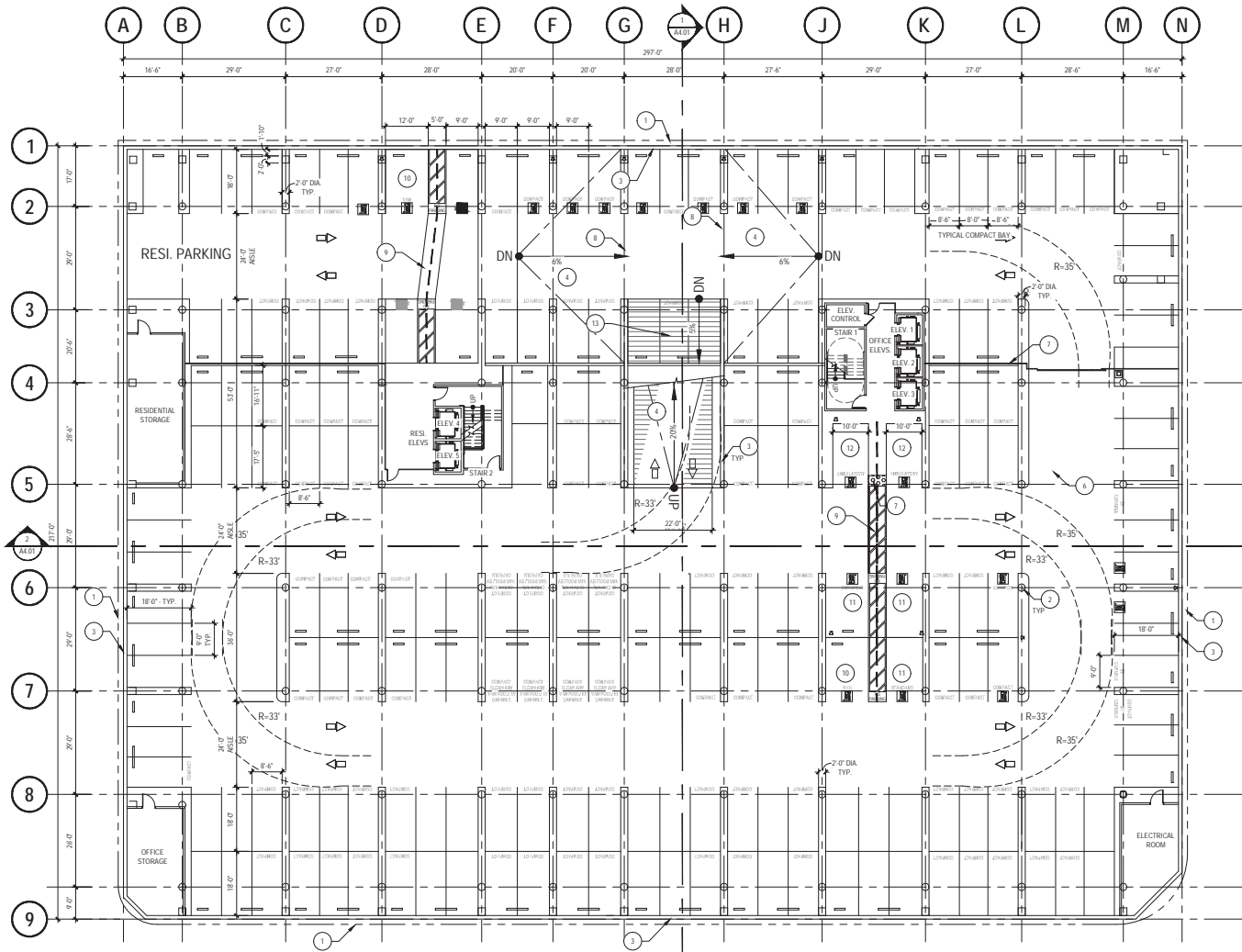
DATE	DESCRIPTION
02/22/2021	PRELIM PLANNING SUBMITTAL
06/17/2021	PRELIM PLANNING RESUBMITTAL
07/30/2021	PRELIM PLANNING RESUBMITTAL II
10/01/2021	1ST FORMAL PLANNING SUBMITTAL
12/23/2021	2ND FORMAL PLANNING SUBMITTAL
03/29/2022	3RD FORMAL PLANNING SUBMITTAL

ROOF LEVEL PLAN

A 2.31

PROJECT NO. 205207







3RD AVENUE - NORTH ELEVATION 6

SCALE: 1/16" = 1'-0"



S. CLAREMONT STREET - WEST ELEVATION 4

KEYNOTES

- NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.
- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BLACK ALUMINUM FRAMES AND VERTICAL BUTT JOINTS
 - 2 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN BLACK ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
 - 3 RESIDENTIAL NAIL FIN BLACK ALUMINUM WINDOWS
 - 4 EXTERIOR INSULATING FINISHING SYSTEM OVER METAL STUD FRAMING
 - 5 CEMENT FIBERBOARD PANEL RAIN SCREEN WITH REVEAL OVER METAL STUD FRAME
 - 6 GLASS FIBER REINFORCED CONCRETE PANEL OVER METAL STUD FRAME
 - 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
 - 8 ALUMINUM AND GLASS BALCONY
 - 9 ENTRY/EXIT DOOR
 - 10 TEMPERED GLAZING GUARDRAIL
 - 11 ALUMINUM COMPOSITE METAL
 - 12 EXISTING PROPERTY LINE
 - 13 EXPRESSED MULLION
 - 14 RECURSED STREET WALL SETBACK PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED - ALLOWABLE INTRUSIONS ABOVE THE STREET WALL AREA ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING BALUNES AND ARBORS
 - 15 CENTERLINE OF PUBLIC RIGHT OF WAY
 - 16 ENTRY TO BELOW GRADE PARKING STRUCTURE
 - 17 SECTIONAL OVERHEAD DOORS
 - 18 PATIO METAL TRELLIS SHADE

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- E1 EXTERIOR INSULATING FINISHING SYSTEM COLOR: TO MATCH BM 154B CLASSIC GRAY
- GF GLASS FIBER REINFORCED CONCRETE TO MATCH BM 1552 RIVER REFLECTIONS
- G1 GLAZING TYPE: 1" INSULATED LOW TINT
- G2 GLAZING TYPE: 1" INSULATED GRAY TINT
- M1 ALUMINUM SUNSCREEN FINISH TO MATCH REYNOLDBOND SERIES: COLORWELD 500 XL FINISH: CHARCOAL
- M2 ALUMINUM SUNSCREEN OR FIN FINISH TO MATCH REYNOLDBOND SERIES: STONE FINISHES FINISH: ACIARO CORTEN
- P1 PAINT OVER STUCCO FINISH TO MATCH BENJAMIN MOORE COLOR: BM 154B CLASSIC GRAY
- P2 PAINT OVER STUCCO CEMENT BOARD BENJAMIN MOORE COLOR: BM 1125 ACORN
- P3 PAINT OVER STUCCO CEMENT BOARD DUNN EDWARDS COLOR: DE 4337 BLACK TIE LRV 6

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ARC TEC is a leading provider of architectural technology solutions for the construction industry. We specialize in the design and construction of high-rise buildings, hotels, and other large-scale commercial projects. Our team of experts provides comprehensive services from conceptual design to construction management. We are committed to delivering high-quality, innovative solutions that meet the needs of our clients and the industry.

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94017

DATE	DESCRIPTION
02/23/2021	PRELIM PLANNING SUBMITTAL
06/17/2021	PRELIM PLANNING RESUBMITTAL
07/30/2021	PRELIM PLANNING RESUBMITTAL II
10/01/2021	1ST FORMAL PLANNING SUBMITTAL
12/23/2021	2ND FORMAL PLANNING SUBMITTAL
03/29/2022	3RD FORMAL PLANNING SUBMITTAL

BUILDING ELEVATIONS

A3.01
PROJECT NO. 205207



3RD AVENUE - ENLARGED ELEVATION - 3RD AND 4TH LEVEL OFFICE DECKS

SCALE: 3/16" = 1'-0"

10



CORNER OF 3RD AVENUE AND S DELAWARE ST- ENLARGED ELEVATION

SCALE: 1/8" = 1'-0"

12



3RD AVENUE - ENLARGED ELEVATION - OFFICE LOBBY

SCALE: 1/4" = 1'-0"

4



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ARC TEC is a leading architectural technology firm, providing a wide range of services to its clients. The firm's expertise includes architectural design, interior design, and construction management. The firm's clients include a wide range of organizations, from small businesses to large corporations. The firm's services are designed to help its clients achieve their goals and create a better environment for their employees.

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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02-22-2021	PRELIM PLANNING SUBMITTAL
06-17-2021	PRELIM PLANNING RESUBMITTAL
07-30-2021	PRELIM PLANNING RESUBMITTAL II
10-01-2021	1ST FORMAL PLANNING SUBMITTAL
12-23-2021	2ND FORMAL PLANNING SUBMITTAL
03-29-2022	3RD FORMAL PLANNING SUBMITTAL

BUILDING ELEVATION DETAILS

A3.03

PROJECT NO. 205207



S DELAWARE ST - ENLARGED ELEVATION - 4TH LEVEL RESIDENTIAL AND OFFICE DECK

SCALE: 3/16" = 1'-0"

(10



S DELAWARE ST - ENLARGED ELEVATION - RESIDENTIAL LOBBY

SCALE: 1/4" = 1'-0"

2



S DELAWARE ST- ENLARGED ELEVATION - RESIDENTIAL DECK AND BALCONIES

SCALE: 1/4" = 1'-0"

(12)



CORNER OF S DELAWARE ST AND 4TH AVENUE - ENLARGED ELEVATION

SCALE: 1/8" = 1'-0"

4



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Arizona
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[illegible]

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02-22-2021	PRELIM. PLANNING SUBMITTAL
04-21-2021	PRELIM. PLANNING RESUBMITTAL
07-30-2021	PRELIM. PLANNING RESUBMITTAL
10-01-2021	1ST FORMAL PLANNING SUBMITTAL
12-23-2021	2ND FORMAL PLANNING SUBMITTAL
03-24-2022	3RD FORMAL PLANNING SUBMITTAL

BUILDING ELEVATION DETAILS

A3.05

PROJECT NO: 205207

OF

AS DESCRIBED IN THE PRELIMINARY COMMITMENTS FOR TITLE INSURANCE REFERENCED HEREON, PREPARED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY



FLOOD_ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD
FEMA FLOOD INSURANCE RATE MAP NUMBER: 06081C0154G
EFFECTIVE DATE: APRIL 5, 2019
DATE ACCESSED: AUGUST 30, 2021

EXCEPTIONS TO COVERAGE - PTR 3

Drawing Number:
ALTA
1 of 3

PROJECT NAME: 1180-SAN MATEO CITY BLOCK 21 - San Mateo, CA 94405
DATE: 2020-08-30
DRAWN BY: JUNGSMANN, P.L.S.
CHECKED BY: JUNGSMANN, P.L.S.
DATE: 2020-08-30

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

OF

BLOCK 21, AS DESIGNATED ON THAT CERTAIN MAP RECORDED JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45

AS DESCRIBED IN THE PRELIMINARY COMMITMENTS FOR TITLE INSURANCE REFERENCED HEREON, PREPARED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY

EXCEPTIONS TO COVERAGE - PTR 5

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

1A. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.
FIRST INSTALLMENT: \$28,011.96, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$28,011.96, OPEN
PENALTY: \$0.00
TAX RATE AREA: 12-023
A. P. NO.: 034-185-130
NOT A SURVEY MATTER

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER

3. AN EASEMENT FOR RIGHT TO USE A PARTY WALL, RIGHT TO USE THAT PORTION OF A RAIN GUTTER AND INCIDENTAL PURPOSES, RECORDED DECEMBER 15, 1964 AS INSTRUMENT NO. 97729-X, BOOK/REEL 4859, PAGE/IMAGE 420 OF OFFICIAL RECORDS.
IN FAVOR OF: CARLO MICHELETTI AND LOUISE MICHELETTI, HIS WIFE AS JOINT TENANTS
AFFECTS: NORTHWESTERLY PORTION OF SAID LAND
PLOTTED

4. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY VARIOUS DOCUMENTS OF RECORD.
NOT A SURVEY MATTER

5. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$1,500,000.00 RECORDED JUNE 30, 2010 AS INSTRUMENT NO. 2010-07147 OF OFFICIAL RECORDS.
DATED: JUNE 24, 2010
TRUSTOR: ZAC WING VIP AND DIANN L YIP
TRUSTEE: AMERICAN SECURITIES COMPANY, A CORPORATION
BENEFICIARY: WELLS FARGO BANK, NATIONAL ASSOCIATION

A DOCUMENT RECORDED NOVEMBER 16, 1994 AS INSTRUMENT NO. 2015-118408 OF OFFICIAL RECORDS PROVIDES THAT THE DEED OF TRUST OR THE OBLIGATION SECURED THEREBY HAS BEEN MOORFED.
NOT A SURVEY MATTER

6. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER

7. ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. *****SEQ) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. *****SEQ) OR UNDER SIMILAR STATE LAWS.
NOT A SURVEY MATTER

8. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER

9. RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 6

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

1A. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.
FIRST INSTALLMENT: \$2,798.18, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$2,798.18, OPEN
PENALTY: \$0.00
TAX RATE AREA: 12-023
A. P. NO.: 034-185-140
NOT A SURVEY MATTER

2. THE LIEN OF DEFAULTED TAXES FOR THE FISCAL YEAR 2015, AND ANY SUBSEQUENT DELINQUENCIES.
TAX RATE AREA: 12-023
A. P. NO.: 034-185-140
AMOUNT TO REDEEM: \$38,424.90
VALID THROUGH: FEBRUARY, 2021
AMOUNT TO REDEEM: \$38,791.35
VALID THROUGH: MARCH, 2021
PLEASE CONTACT THE TAX OFFICE TO VERIFY THE PAYOFF AMOUNT.
NOT A SURVEY MATTER

3. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER

4. AN EASEMENT FOR THE RIGHT TO USE A PARTY WALL, AND THAT PORTION OF A RAIN GUTTER AND INCIDENTAL PURPOSES, RECORDED DECEMBER 15, 1964 AS INSTRUMENT NO. 97729-X IN BOOK/REEL 4859, PAGE/IMAGE 420 OF OFFICIAL RECORDS.
IN FAVOR OF: CARLO MICHELETTI AND LOUISE MICHELETTI
AFFECTS: ALONG THE SOUTHWESTERLY LINE OF THE HEREIN DESCRIBED PROPERTY, AND EXTENDING SOUTHWESTERLY 41.00 FEET FROM THE NORTHEASTERLY LINE THEREOF
PLOTTED

5. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 1981-65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

6. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$100,000.00 RECORDED APRIL 10, 1986 AS INSTRUMENT NO. 86017641 OF OFFICIAL RECORDS.

DATED: APRIL 01, 1986
TRUSTOR: CALIFORNIA ANTIQUE VENDING MACHINES, INC., A CALIFORNIA CORPORATION
TRUSTEE: WESTERN TITLE INSURANCE COMPANY, A CORPORATION
BENEFICIARY: COLONIAL SAVINGS AND LOAN ASSOCIATION OF WESTERN KANSAS

ACCORDING TO THE PUBLIC RECORDS, THE BENEFICIAL INTEREST UNDER THE DEED OF TRUST WAS ASSIGNED TO JAY M. KAPLAN AND DALE L. KAPLAN, CO-TRUSTEES OF THE KAPLAN 1982 REVOCABLE TRUST BY ASSIGNMENT RECORDED SEPTEMBER 08, 1993 AS INSTRUMENT NO. 93151918 OF OFFICIAL RECORDS.

A DOCUMENT RECORDED NOVEMBER 16, 1994 AS INSTRUMENT NO. 94-175360 OF OFFICIAL RECORDS PROVIDES THAT ERIC D. HORODAS WAS SUBSTITUTED AS TRUSTEE UNDER THE DEED OF TRUST.
NOT A SURVEY MATTER

7. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$28,000.00 RECORDED APRIL 10, 1986 AS INSTRUMENT NO. 86017641 OF OFFICIAL RECORDS.

DATED: MARCH 26, 1986
TRUSTOR: CALIFORNIA ANTIQUE VENDING MACHINES, INC., A CALIFORNIA CORPORATION
TRUSTEE: WESTERN TITLE INSURANCE COMPANY, A CORPORATION
BENEFICIARY: CARL H. STINGOL, A MARRIED MAN

NOT A SURVEY MATTER

8. A FINANCING STATEMENT RECORDED APRIL 10, 1986 AS INSTRUMENT NO. 86017644 OF OFFICIAL RECORDS.
DEBTOR: CALIFORNIA ANTIQUE VENDING MACHINES, INC.,
SECURED PARTY: COLONIAL SAVINGS AND LOAN ASSOCIATION OF WESTERN KANSAS
NOT A SURVEY MATTER

9. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$58,000.00 RECORDED APRIL 29, 1993 AS INSTRUMENT NO. 93088573 OF OFFICIAL RECORDS.

DATED: SEPTEMBER 04, 1991
TRUSTOR: CALIFORNIA ANTIQUE VENDING MACHINES INC.
TRUSTEE: ROBERT B. HAM INC., A CALIFORNIA CORPORATION
BENEFICIARY: KAPLAN 1982 REVOCABLE TRUST

A DOCUMENT RECORDED NOVEMBER 16, 1994 AS INSTRUMENT NO. 94-175367 OF OFFICIAL RECORDS PROVIDES THAT ERIC D. HORODAS WAS SUBSTITUTED AS TRUSTEE UNDER THE DEED OF TRUST.
NOT A SURVEY MATTER

10. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER

11. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$401,446.00 RECORDED JUNE 11, 2005 AS INSTRUMENT NO. 2005-097622 OF OFFICIAL RECORDS.

DATED: MAY 31, 2005
TRUSTOR: CALIFORNIA ANTIQUE VENDING MACHINES, INC.
TRUSTEE: FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION
BENEFICIARY: CHARLES MARCOSS AND JEANNE MARCOSS
NOT A SURVEY MATTER

12. A CERTIFIED COPY OF A JUDGMENT OR AN ABSTRACT THEREOF, RECORDED NOVEMBER 16, 2011 AS INSTRUMENT NO. 2011-138357 OF OFFICIAL RECORDS.
COURT: SUPERIOR COURT OF CALIFORNIA, COUNTY OF SAN MATEO
CASE NO.: CV492637
DEBTOR: STEPHEN L. SQUIRES AND CALIFORNIA ANTIQUE VENDING MACHINES, INC.
CREDITOR: JUANNA MARCOSS
AMOUNT: \$871,575.00, AND ANY OTHER AMOUNTS DUE THEREUNDER.

THE LIEN OF THE JUDGMENT HAS BEEN EXTENDED AS EVIDENCED BY THE DOCUMENT RECORDED AUGUST 04, 2020 AS INSTRUMENT NO. 2020-07648B OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

13. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER

14. ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. *****SEQ) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. *****SEQ) OR UNDER SIMILAR STATE LAWS.
NOT A SURVEY MATTER

15. RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

CONSIDERATION FOR THE DELETION OF THIS EXCEPTION IS HIGHLY FACT INTENSIVE. PLEASE CONTACT THE UNDERWRITER ASSIGNED TO YOUR FILE AS SOON AS POSSIBLE TO DISCUSS.

EXCEPTIONS TO COVERAGE - PTR 7

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.

3. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$137,240.00 RECORDED MARCH 31, 1980 AS INSTRUMENT NO. 1980AP IN REEL 7948, IMAGE 2127 OF OFFICIAL RECORDS.
DATED: MARCH 01, 1980
TRUSTOR: WARD D. ANDERSON II, A MARRIED MAN
TRUSTEE: TITLE INSURANCE AND TRUST COMPANY, A CALIFORNIA CORPORATION
BENEFICIARY: WILLIAM WATSON

(AFFECTS PARCEL TWO)
NOT A SURVEY MATTER

4. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

(AFFECTS BOTH PARCELS)
NOT A SURVEY MATTER

5. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$500,000.00 RECORDED JULY 24, 2013 AS INSTRUMENT NO. 2013-108059 OF OFFICIAL RECORDS.
DATED: JULY 12, 2013
TRUSTOR: LOWIN ENTERPRISES, LLC A CALIFORNIA LIMITED LIABILITY COMPANY
TRUSTEE: FIDELITY NATIONAL TITLE INSURANCE COMPANY
BENEFICIARY: FIRST PUBLIC BANK WHICH IS ORGANIZED AND EXISTING UNDER THE LAWS OF CALIFORNIA

(AFFECTS BOTH PARCELS)

DOCUMENT STATES THAT IT IS FOR CROSS-DEFAULT/CROSS-COLLATERALIZATION.

THE ABOVE DEED OF TRUST STATES THAT IT SECURES AN EQUITY LINE/REVOLVING LINE OF CREDIT. PRIOR TO THE PAYMENT AND SURRENDER OF THE EQUITY LINE/REVOLVING LINE OF CREDIT, AN INSTRUCTION TO SURREINDE AND CLOSE THE EQUITY LINE/REVOLVING LINE OF CREDIT PURSUANT TO CA CIVIL CODE SECTION 2943.1 MUST BE EXECUTED BY THE BORROWER.
NOT A SURVEY MATTER

6. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "CITY OF SAN MATEO PLANNING DIVISION CONDITIONS OF APPROVAL" RECORDED AUGUST 23, 2017 AS INSTRUMENT NO. 2017-074032 OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

(AFFECTS BOTH PARCELS)
NOT A SURVEY MATTER

7. THIS TRANSACTION MAY BE SUBJECT TO A GEOGRAPHIC TARGETING ORDER ("GTO") ISSUED PURSUANT TO THE BANK SECRECY ACT. INFORMATION NECESSARY TO COMPLY WITH THE GTO MUST BE PROVIDED PRIOR TO THE CLOSING. THIS TRANSACTION WILL NOT BE INSURED UNTIL THIS INFORMATION IS SUBMITTED, REVIEWED AND FOUND TO BE COMPLETE.

(AFFECTS PARCEL ONE)
NOT A SURVEY MATTER

8. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER

9. RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 8

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER

3. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER

5. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER

6. WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY.
NOT A SURVEY MATTER

7. RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

EXCEPTIONS TO COVERAGE - PTR 9

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY MATTER

1A. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.
FIRST INSTALLMENT: \$10,375.62, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$10,375.62, OPEN
PENALTY: \$0.00
TAX RATE AREA: 12-023
A. P. NO.: 034-185-120
NOT A SURVEY MATTER

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
NOT A SURVEY MATTER

3. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE SAN MATEO CITY DOWNTOWN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1981 AS INSTRUMENT NO. 65717AS OF OFFICIAL RECORDS.
NOT A SURVEY MATTER

4. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER

5. WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY.
NOT A SURVEY MATTER

6. ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. *****SEQ) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. *****SEQ) OR UNDER SIMILAR STATE LAWS.
NOT A SURVEY MATTER

CONSIDERATION FOR THE DELETION OF THIS EXCEPTION IS HIGHLY FACT INTENSIVE. PLEASE CONTACT THE UNDERWRITER ASSIGNED TO YOUR FILE AS SOON AS POSSIBLE TO DISCUSS.

NOT A SURVEY MATTER

7. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY MATTER

8. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
NOT A SURVEY MATTER

9. RIGHTS OF PARTIES IN POSSESSION.
NOT A SURVEY MATTER

ALTA SURVEY NOTES

1. THE HOLYTYPE COMMENTS ARE ADDED BY THE PROFESSIONAL LAND SURVEYOR.
2. ALL DISTANCES AND DIMENSIONS ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF.
3. "X" MARKS INDICATE THE CORNERS OF THE SUBJECT PROPERTY.
4. "IN" AND "OUT" AS SHOWN ON THIS SURVEY INDICATE THE DISTANCE INSIDE OR OUTSIDE OF THE SUBJECT PROPERTY, RESPECTIVELY.
5. THE DATES OF THE FIELD SURVEY ARE AS FOLLOWS: OCTOBER 21, 2020, OCTOBER 23, 2020, AND MARCH 31, 2021.
6. THE SUBJECT PROPERTIES HAVE DIRECT VEHICULAR ACCESS TO AND FROM SOUTH CLAREMONT STREET, EAST 3RD AVENUE, SOUTH DELAWARE STREET, AND/OR EAST 4TH AVENUE. PUBLICLY DEDICATED RIGHTS-OF-WAY, AS SHOWN ON THE SURVEY HEREON WHERE INDICATED BY ARROW LABELLED "SITE ACCESS".
7. IN REFERENCE TO ITEM 2 OF TABLE "A", THE ADDRESSES OF THE SUBJECT PROPERTIES ARE AS SHOWN ON SHEET 1 OF THIS SURVEY.
8. IN REFERENCE TO ITEM 3 OF TABLE "A", THE SUBJECT PROPERTY HAS BEEN DETERMINED TO BE WITHIN FLOOD ZONE "X", AS STATED ON SHEET 1 OF THIS SURVEY.
9. IN REFERENCE TO ITEM 4 OF TABLE "A", THE GROSS LAND AREA OF THE SUBJECT PROPERTIES ARE AS SHOWN ON SHEET 3 OF THIS SURVEY.
10. IN REFERENCE TO ITEM 5 OF TABLE "A", AS SHOWN ON THE SURVEY HEREON.
11. IN REFERENCE TO ITEM 13 OF TABLE "A", AS SHOWN ON THE SURVEY HEREON.
12. IN REFERENCE TO ITEM 14 OF TABLE "A", THE SUBJECT BLOCK IS BOUNDED BY SOUTH CLAREMONT STREET, EAST 3RD AVENUE, SOUTH DELAWARE STREET AND EAST 4TH AVENUE.
13. IN REFERENCE TO ITEM 16 OF TABLE "A", NO EVIDENCE OF RECENT EARTH MOVING WORK OR BUILDING CONSTRUCTION WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
14. IN REFERENCE TO ITEM 17 OF TABLE "A", NO EVIDENCE OF RECENT OR PROPOSED STREET RIGHT OF WAY CHANGES WERE OBSERVED IN THE PROCESS OF COMPLETING THE FIELD SURVEY. NOR PROVIDED TO THE UNDERSIGNED SURVEYOR.

UTILITY STATEMENT

UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTORS SHALL VERIFY ALL UTILITIES PRIOR TO ANY AND ALL CONSTRUCTION ACTIVITIES.

BASIS OF BEARINGS

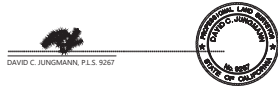
THE BEARING OF NORTH *****WMBP ALONG THE CENTERLINE OF SOUTH DELAWARE STREET, AS SHOWN ON THAT CERTAIN PARCEL MAP AS RECORDED DECEMBER 20, 2019 IN BOOK 85 OF PARCEL MAPS AT PAGES 21-22 OF OFFICIAL RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYORS STATEMENT

TO: WINDY HILL PROPERTY VENTURES
TO: FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSP LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSP, AND INCLUDES OPTIONAL ITEMS 2, 3, 4, 6, 13, 14, 16, AND 17 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON MARCH 31, 2021.



DATE

GENERAL NOTES

1. **BOUNDARY.** BOUNDARY INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF DATED 08/30/2021.
2. **SOURCE OF TOPOGRAPHY.** EXISTING TOPOGRAPHY SHOWN IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF ENGINEERS DATED 08/30/2021.
3. **GRADING.** SITE GRADES AND BUILDING/GARAGE FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN AND GEOTECHNICAL ENGINEER'S REVIEW AND APPROVAL.
4. **UTILITIES:** UTILITY SIZING, LOCATIONS, AND GRADES ARE SUBJECT TO FINAL ENGINEERING DESIGN, GEOTECHNICAL ENGINEER AND RESPECTIVE UTILITY AGENCY REVIEW AND APPROVAL.
- A. EXISTING UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND RECORD DRAWINGS AND ARE NOT MEANT TO BE A FULL CATALOG OF ACTUAL CONDITIONS.
- B. EXISTING ON-SITE UTILITIES SHOWN ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON PLANS.
- C. THE WATER DISTRIBUTION WILL BE DESIGNED AND CONSTRUCTED PER CALIFORNIA WATER SERVICE STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
- D. THE SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
- E. THE STORM DRAIN SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
8. **FEMA DESIGNED FLOOD ZONE.** FLOOD ZONE 'X'; OTHER AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PER FLOOD INSURANCE RATE MAP NUMBER 06081C0194G DATED 04/05/2019.
9. **LANDSCAPE PLAN.** LANDSCAPE PLAN BY KLA INCORPORATED SHALL BE APPROVED AS PART OF FINAL IMPROVEMENT PLANS FOR THE PROJECT.

FIRE DEPARTMENT NOTES

1. A SEPARATE APPLICATION AND PERMIT ARE REQUIRED FOR THE INSTALLATION OF ANY UNDERGROUND FIRE SERVICE LINES. APPLICATION SHALL BE MADE BY A REGISTERED ENGINEER OR BY EITHER A GENERAL ENGINEERING CONTRACTOR OR A LICENSED FIRE SPRINKLER CONTRACTOR, WHO WILL BE PERFORMING THE WORK.
2. IN ACCORDANCE WITH THE MUNICIPAL/ REGIONAL STORM WATER PERMIT, NO FIRE SPRINKLER SYSTEM DRAIN SHALL DISCHARGE INTO ANY STORM DRAIN SYSTEM. THE SYSTEM SHALL DISCHARGE TO EITHER A LANDSCAPE AREA LARGE ENOUGH TO CONTAIN THE OUTFLOW, OR TO THE SANITARY SEWER BY MEANS OF AN INDIRECT CONNECTION. INDICATE THE LOCATION OF THE FIRE SPRINKLER SYSTEM DRAIN ON PLANS SUBMITTED FOR A BUILDING PERMIT.

UNDERGROUND STORAGE TANKS

1. PRIOR TO BUILDING PERMIT ISSUANCE, THE PROJECT MUST BE SUBMITTED TO THE SAN MATEO COUNTY HEALTH DEPARTMENT FOR REVIEW OF THE PROPOSED REMOVAL OF THE EXISTING UNDERGROUND STORAGE TANK ("UST") AND ASSOCIATED PIPING ON SITE.

LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY	---	---
COUNTY BOUNDARY	---	---
LOT LINE	---	---
CONTOUR LINE	100	100
FENCE	X	X
STORM DRAIN	---	---
SANITARY SEWER	---	SS
WATER MAIN	W	W
FIRE WATER MAIN	FW	FW
GAS LINE	GAS	GAS
JOINT TRENCH	E	E
SANITARY SEWER CLEAN OUT	CO	CO
SANITARY SEWER MANHOLE	SMH	SMH
STORM DRAIN CURB INLET	DI	DI
STORM DRAIN MANHOLE	DMH	DMH
STORMFILTER	DF	DF
DETECTOR CHECK & METER	DCM	DCM
COMPOUND METER	CM	CM
FIRE DEPARTMENT CONNECTION	FD	FD
FIRE HYDRANT	FDH	FDH
WATER VALVE	WV	WV
MONUMENT	M	M
TRANSFORMER	T	T
BIKE RACK	BR	BR
STREET LIGHT	SL	SL
INLET PROTECTION	IP	IP
POLE LIGHT	PL	PL
STORM DRAIN CLEAN OUT	CO	CO
STORM DRAIN AREA DRAIN	AD	AD
STORM DRAIN CATCH BASIN	CB	CB
OVERHEAD WIRES	OW	OW
STREET SIGN	TS	TS
SPOT ELEVATION	TC	TC
FRESH AIR INLET	FAI	FAI
WATER METER	WM	WM
BACK FLOW PREVENTER	BFP	BFP
AUXILIARY WATER SUPPLY SYSTEM	AWSS	AWSS
JOINT POLE	JP	JP
TREE	T	T

ABBREVIATIONS

AB	DELTA	RW,ROW
AC	AGGREGATE BASE	RWC
AD	ASPHALT CONCRETE	S
ADJ	ASBESTOS CEMENT PIPE	SANL
APP	AREA DRAIN	SD
APN	ADJACENT	SDCB
AWSS	ACCESS POINT NAME	SF
B/W, BW	AUXILIARY WATER SUPPLY SYSTEM	SFDPW
BC	BACK OF WALK	SFPUIC
BCR	BEGINNING OF CURVE	S.E.P.
BFP	BEGINNING CURB RETURN	S/W
BLD, BLDG	BACKFLOW PREVENTER	S.A.D.
BTM	BOTTOM	SD
BVC	BOTTOM OF RETAINING CURB	SDAD
BVCS	BEGIN VERTICAL CURVE ELEVATION	SDCO
BSW	BEGIN VERTICAL CURVE STATION	SDOI
C&G	BACK OF SIDEWALK	SDMH
CB	CURB AND GUTTER	S.F.P.P.
CCP	CATCH BASIN	SMGP
CL, &	CONCRETE CYLINDER PIPE	S.I.T.P.
CLR	CENTER LINE	SL
CO	CLEARANCE	SLB
COMM	CLEANOUT	S.L.P.
CONC	TELECOM	S.P.P.
COR	CONCRETE	SS
CS	CORNER	SSCO
CSMH	COMBINED SEWER	SMH
CATV, CTV	COMBINED SEWER MANHOLE	ST
DSDA	CABLE TELEVISION	STA
DI	DROP INLET	STD
DIA	DIAMETER	T&G
DMA	DRAINAGE MANAGEMENT AREA	TB
DOC, DU	DOCUMENT	TEL, TELE
DW	DOMESTIC WATER	TO BE DETERMINED
DRAWING	DRIVEWAY	TOP OF CURB
DWY	EAST	TOP OF PAVEMENT
E	ELECTRIC	TRANS
E, ELEC	EASEMENT	TRC
EASE, ESMT	ELECTRIC BOX	TSB
EB	END OF CURVE	TTC
ECC	EXTRUDED CONCRETE CURB	TWELL
ECR	END CURB RETURN	TYP
EG	EXISTING GROUND	VC
EL, ELEV	ELEVATION	V, VERT
EM	ELECTRIC METER	VALLEY GUTTER
EP	EDGE OF PAVEMENT	UB
EVCE	END VERTICAL CURVE ELEVATION	U.C.D.
EVCS	END VERTICAL CURVE STATION	USA
EX, EXIST	EXISTING	W
FC	FACE OF CURB	WM
FD	FIRE DEPARTMENT CONNECTION	WV
FF	FINISHED FLOOR	W/
FG	FINISHED GRADE	WITH
FDH	FIRE HYDRANT	
FL	FLOWLINE	
FNC	FENCE	
FO	FIBER OPTIC CABLE	
FS	FIRE SERVICE	
FT	FEET	
FW	FIRE WATER	
G	GAS	
GB	GRADE BREAK	
GM	GAS METER	
GND	GROUND	
GPM	GALLONS PER MINUET	
GR	GRATE, GRATE ELEVATION	
GV	GATE VALVE	
H&ASP	HEAVY SAFETY PLAN	
HCAP	HANDICAPPED	
HC, HCR	HANDICAP RAMP	
HDPCL	HIGH DENSITY POLYETHYLENE	
HP	HIGH POINT	
H, HORZ	HORIZONTAL	
ID	INNER DIAMETER	
INV	INVERT	
IRR	IRRIGATION	
JP	JOINT POLE	
JT	JOINT TRENCH	
L	LENGTH	
L/C, LS	LANDSCAPE	
LF	LINEAR FEET	
LG	LIP OF GUTTER	
LD	LOW IMPACT DEVELOPMENT	
LOW	LIMIT OF WORK	
LI	LIGHT	
LSOP	LANDSCAPE	
LT	LIGHT	
MAX	MAXIMUM	
MB	MAIL BOX	
MIN	MINIMUM	
MH	MANHOLE	
MPWD	MID-PENINSULA WATER DISTRICT	
N	NORTH	
N, NTS	NOT TO SCALE	
NO.	NUMBER	
OC	OFF CENTER	
OD	OUTSIDE DIAMETER	
OH	OVERHEAD	
OR, O.R.	OFFICIAL RECORD	
PCC	PORTLAND CEMENT CONCRETE	
PDL	PEDESTAL	
PRC	POINT OF REVERSE CURVATURE	
PCL	PARCEL	
PERF	PERFORATED	
P&E	PACIFIC GAS & ELECTRIC	
PKG	PARKING	
PL	PROPERTY LINE	
PM	PARKING METER	
POC	POINT OF CONNECTION	
PR	PROPOSED	
PRC	POINT OF COMPOUND CURVE	
PUE	PUBLIC UTILITY EASEMENT	
PVC	POLYVINYL CHLORIDE	
PVI	POINT OF VERTICAL INFLECTION	
R	RADIUS, RIGHT OF ALIGNMENT LINE	
RCP	REINFORCED CONCRETE PIPE	
RM	RELATIVE COMPACTION	
RC	RELATIVE COMPACTION	
RFL	ROOF LEADER	

SYMBOL LEGEND

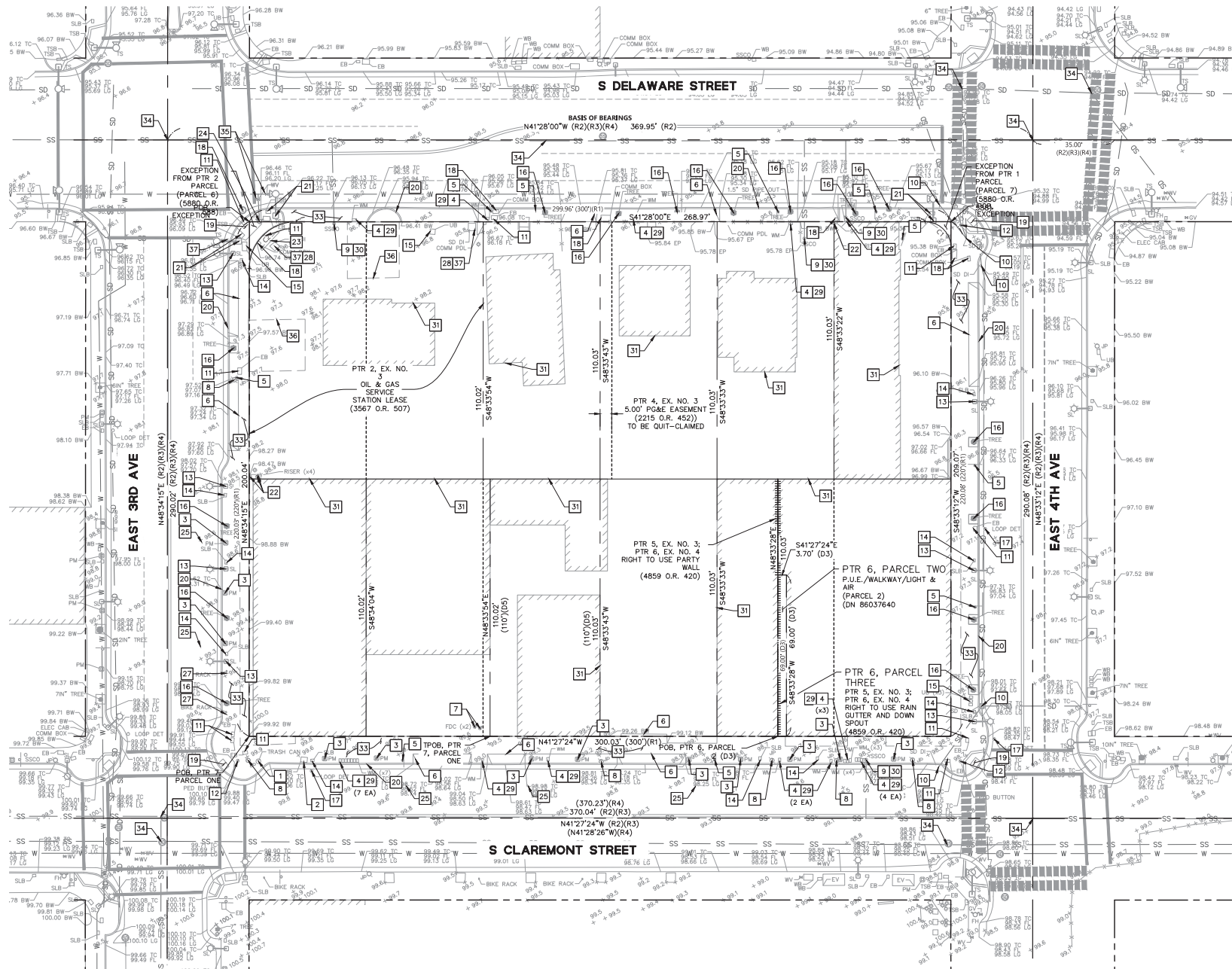
SYMBOL	DESCRIPTION
	DETAIL SECTION A ON SHEET C1.01
	DETAIL A ON SHEET C1.01

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITAL I
12/22/2021	PLANNING SUBMITAL II
02/07/2022	FINAL SUBMITAL

NOTES, LEGEND & ABBREVIATIONS



EXISTING CONDITIONS KEY NOTES

- 1 TRASH CAN, TO BE REMOVED
- 2 MAILBOX, TO BE REMOVED
- 3 PARKING METER, TO BE REMOVED
- 4 WATER METER, TO BE REMOVED TYP
- 5 STREET SIGN, TO BE REMOVED
- 6 DRIVEWAY, TO BE REMOVED
- 7 FIRE DEPARTMENT CONNECTION, TO BE REMOVED
- 8 JOINT POLE, TO REMAIN IN PLACE
- 9 SANITARY SEWER CLEAN OUT, TO BE REMOVED
- 10 STORM DRAIN CATCH BASIN, TO REMAIN IN PLACE
- 11 ELECTRICAL BOX, TO REMAIN IN PLACE
- 12 PEDESTRIAN BUTTON, TO REMAIN IN PLACE
- 13 STREET LIGHT, TO BE RELOCATED, S.J.T.P.
- 14 STREET LIGHT BOX, TO BE RELOCATED, S.J.T.P.
- 15 UTILITY BOX, TO BE REMOVED
- 16 TREE, TO BE REMOVED
- 17 LOOP DETECTOR, TO REMAIN IN PLACE
- 18 TELECOM BOX, TO BE REMOVED
- 19 CURB RAMP, TO BE REMOVED AND REPLACED
- 20 CURB AND GUTTER, TO BE REMOVED AND REPLACED
- 21 TRAFFIC SIGNAL AND BOX, TO REMAIN IN PLACE
- 22 ELECTRICAL RISER, TO BE REMOVED
- 23 ELECTRICAL SIGN, TO BE REMOVED
- 24 FIRE HYDRANT, TO BE REMOVED
- 25 PARKING STRIPING, TO BE REMOVED
- 26 NOT USED
- 27 BIKE RACK, TO BE REMOVED
- 28 STORM DRAIN PIPE, TO BE CUT, CAPPED, AND ABANDONED IN PLACE
- 29 WATER PIPE, TO BE CUT, CAPPED, AND ABANDONED AT THE MAIN
- 30 SANITARY SEWER, TO BE CUT, CAPPED, AND ABANDONED IN PLACE
- 31 BUILDING, TO BE REMOVED
- 32 NOT USED
- 33 SIDEWALK, TO BE REMOVED TYP
- 34 MANHOLE, TO REMAIN
- 35 WATER VALVE, TO BE REMOVED
- 36 GAS STATION OVERHANG, TO BE REMOVED
- 37 STORM DRAIN CATCH BASIN, TO BE REMOVED

EXISTING CONDITIONS NOTES

1. ALL EXISTING EASEMENTS WITHIN THE PROJECT PROPERTY TO BE QUIT-CLAIMED.

GRAPHIC SCALE



PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING SUBMITTAL II
02/07/2022	FINAL PLANNING SUBMITTAL

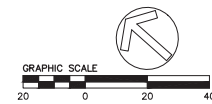
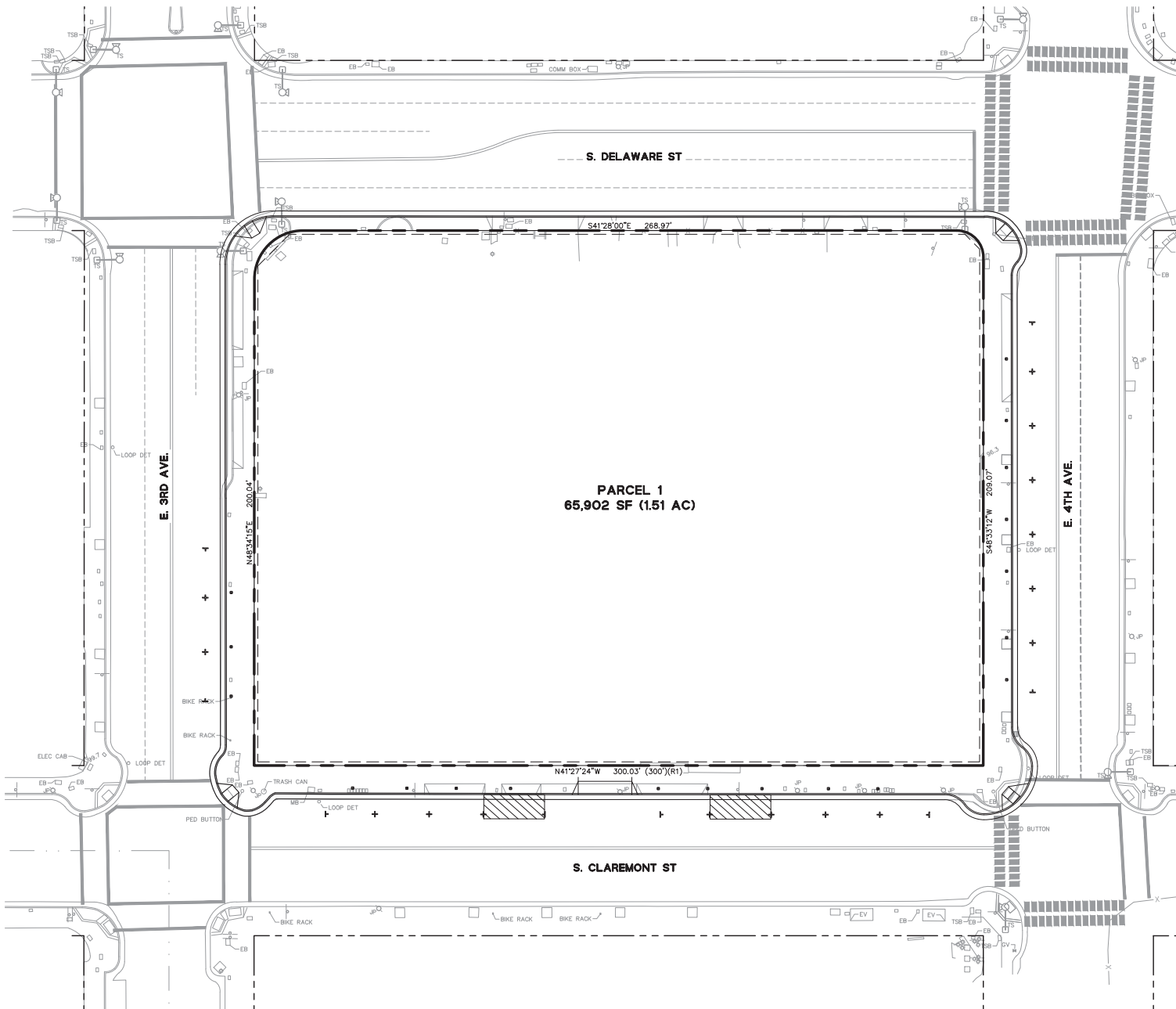
EXISTING
CONDITIONS

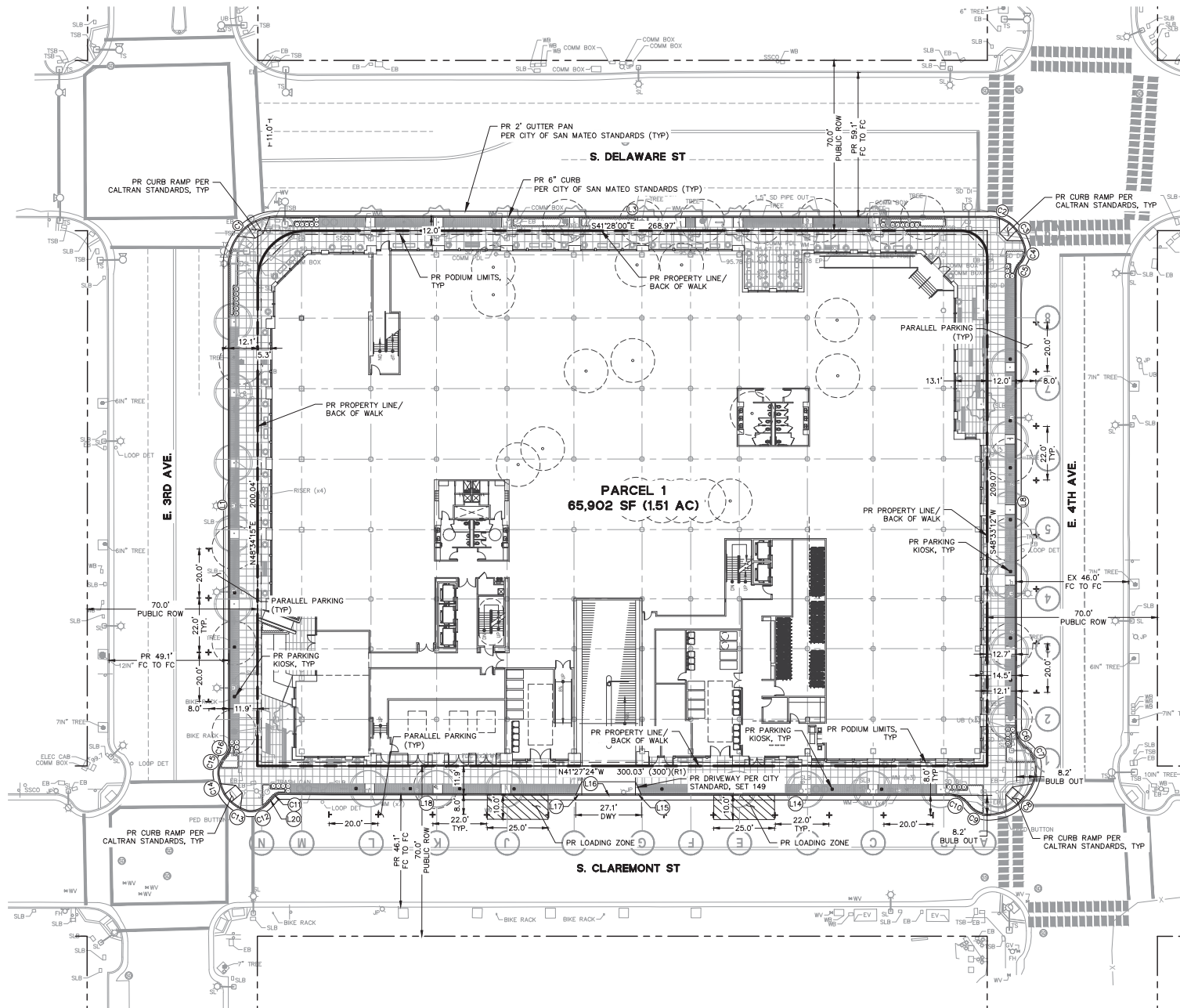
C2.01

PROJECT NO. 205207

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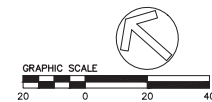


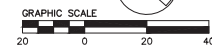
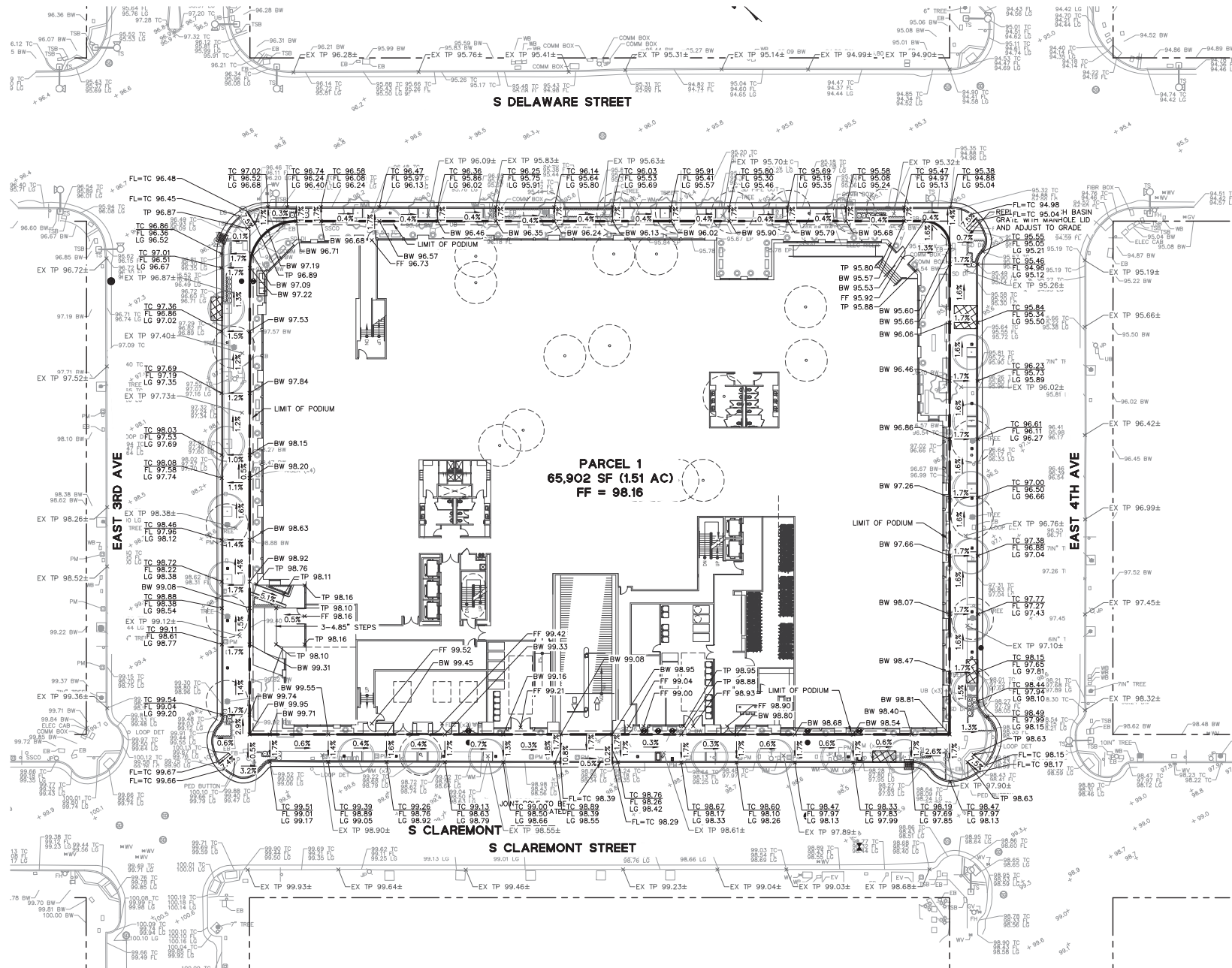


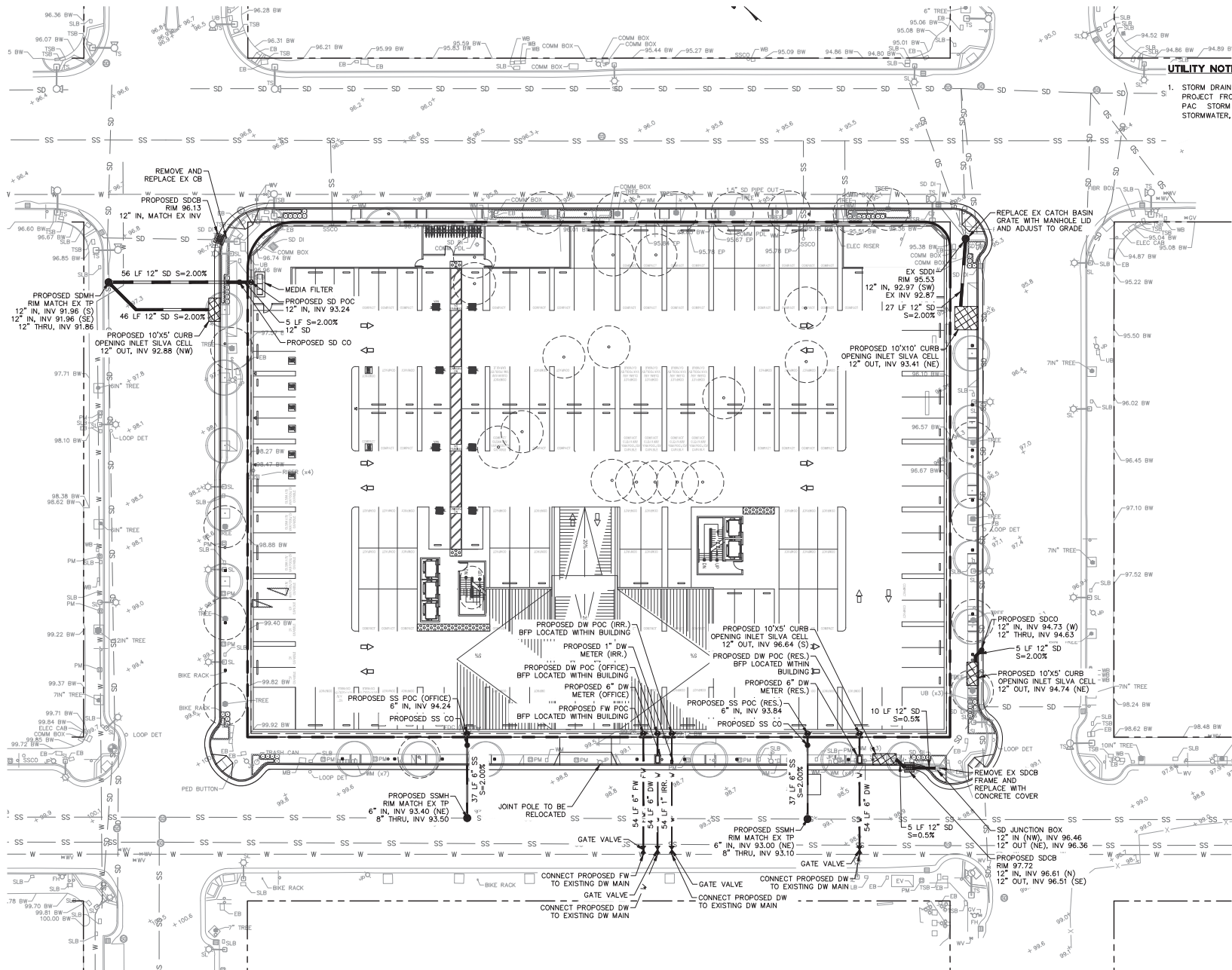
LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	197.66	N48°29'12"E
L3	292.50	S41°25'46"E
L8	185.78	S48°29'16"W
L14	125.75	N41°25'57"W
L15	3.00	N41°25'19"W
L16	22.06	N41°25'31"W
L17	3.00	N41°23'48"W
L18	121.63	N41°19'50"W
L20	2.70	N89°21'38"W

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	31.45	20.00	090°05'01"
C2	9.95	13.44	042°23'10"
C3	9.94	17.40	032°43'33"
C4	8.43	7.35	065°41'14"
C5	6.00	7.51	045°48'22"
C6	9.37	10.00	053°41'57"
C7	9.39	10.00	053°49'41"
C8	31.42	20.00	090°00'00"
C9	9.42	10.00	053°57'29"
C10	9.42	10.00	053°57'41"
C11	2.82	5.76	028°05'53"
C12	9.52	9.92	054°56'59"
C13	12.39	16.76	042°22'34"
C14	7.95	22.16	020°32'25"
C15	9.40	10.28	052°23'53"
C16	4.41	5.42	046°40'09"

MARKED STREET PARKING		
STREET NAME	NO. OF EXISTING STALLS	NO. OF PROPOSED STALLS
E. 4TH AVE.	0	7
S. CLAREMONT ST	9	9
E. 3RD AVE.	3	3
S. DELAWARE ST	0	0
TOTAL	12	19







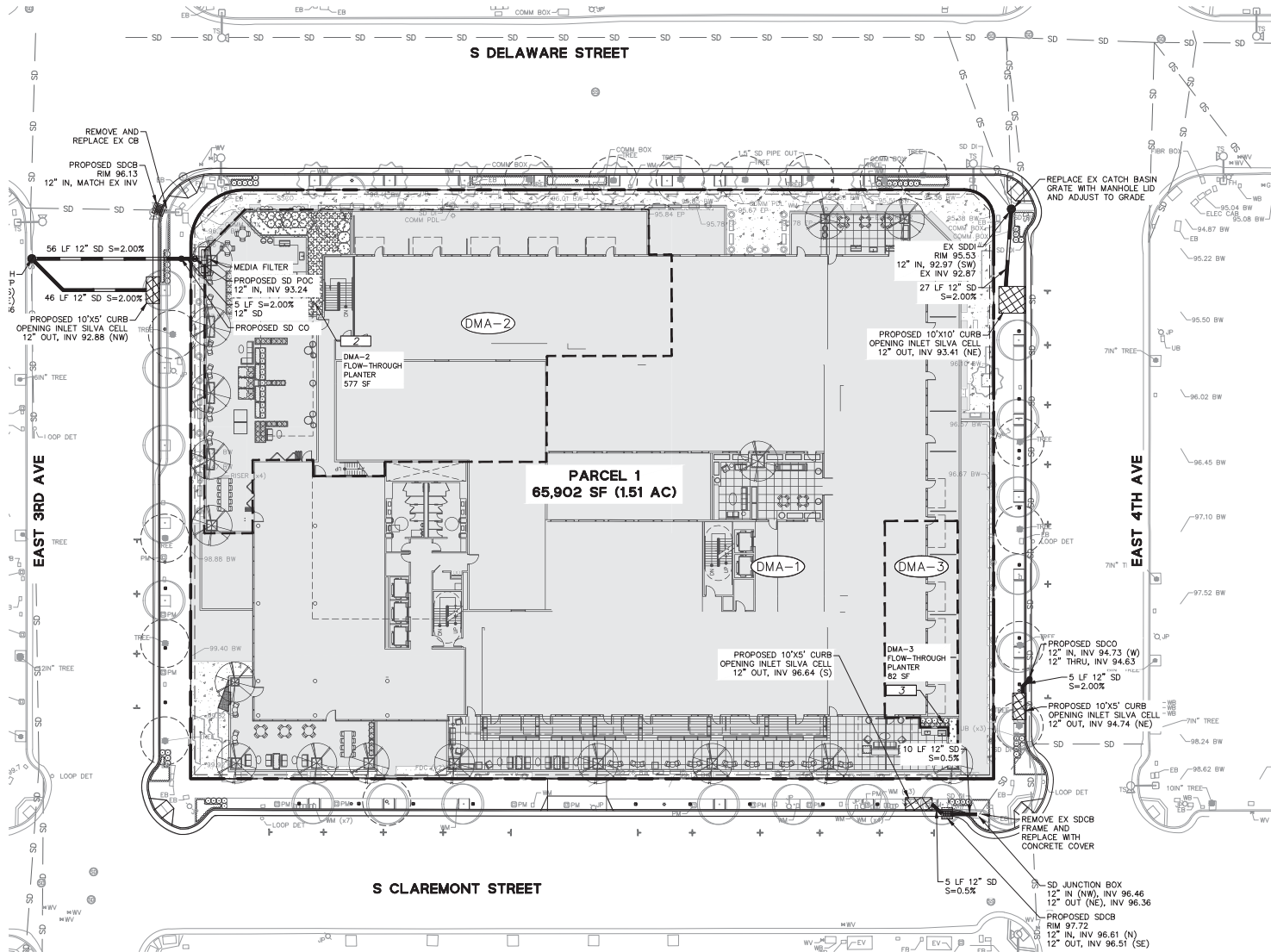
UTILITY NOTES:

1. STORM DRAIN CATCH BASINS AND DROP INLETS ALONG PROJECT FRONTAGE TO BE RETROFITTED WITH DRAIN PAC STORM DRAIN FILTER INSERTS BY UNITED STORMWATER, INC. OR EQUAL.

DATE	DESCRIPTION
10/10/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING SUBMITTAL #2
02/29/2022	4TH FORMAL PLANNING SUBMITTAL

PRELIMINARY UTILITY PLAN





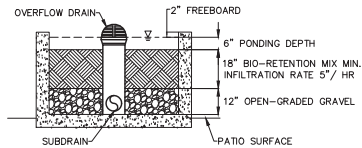
- LEGEND**
- LANDSCAPE
 - DRAINAGE MANAGEMENT BOUNDARY
 - ROOF
 - SIDEWALK
 - FLOW-THROUGH PLANTER

FLOW-THROUGH PLANTER TREATMENT AREA							
DRAINAGE AREA	DRAINAGE AREA SIZE (SF)	PERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF)/ FLOW (CFS)	PROVIDED TREATMENT AREA (SF)/ FLOW (CFS)	PROPOSED TREATMENT CONTROLS
DA-1	48,867	48,840	27	48,842	0.201 (CFS)	0.201 (CFS)	NON-LID: MEDIA FILTER
DA-2	14,953	14,375	577	14,433	575 (SF)	577 (SF)	LID: FLOW-THROUGH PLANTER
DA-3	2,082	2,000	82	2,001	80 (SF)	82 (SF)	LID: FLOW-THROUGH PLANTER
TOTAL	65,902	65,215	687	65,284			

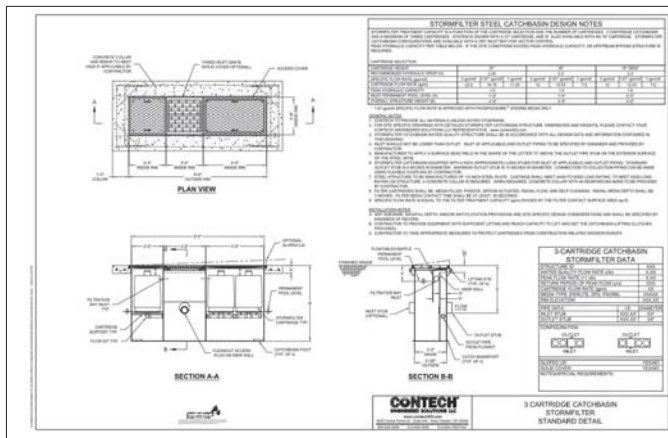
*THE EFFECTIVE IMPERVIOUS SURFACE AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA AND 0.1 X THE TOTAL PERVIOUS AREA, EXCLUDING THE TREATMENT AREA.

LID TREATMENT AREA SUMMARY			
NON-LID TREATED DRAINAGE AREA	DA-1: 48,868 (SF)	PERCENTAGE (75% ALLOWED)	74%
LID TREATED DRAINAGE AREA	DA-2 + DA-3: 17,035 (SF)	PERCENTAGE	26%





1 TYPICAL FLOW-THROUGH PLANTER ON PODIUM



2 MEDIA FILTER

CONSTRUCTION STORMWATER BMP NOTES

- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR 'RUN OVER.'
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE 'OFF-SEASON.'
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.

SOURCE CONTROL NOTES

- STORM DRAIN: MARK ON-SITE INLETS WITH THE WORDS 'NO DUMPING' FLOWS TO BAY' OR EQUIVALENT.
- LANDSCAPING:
 - RETAIN EXISTING VEGETATION AS PRACTICABLE.
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- REFUSE AREAS:
 - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- FIRE SPRINKLERS: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
 - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.

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BKF
150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 392-7700
WWW.BKF.COM

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

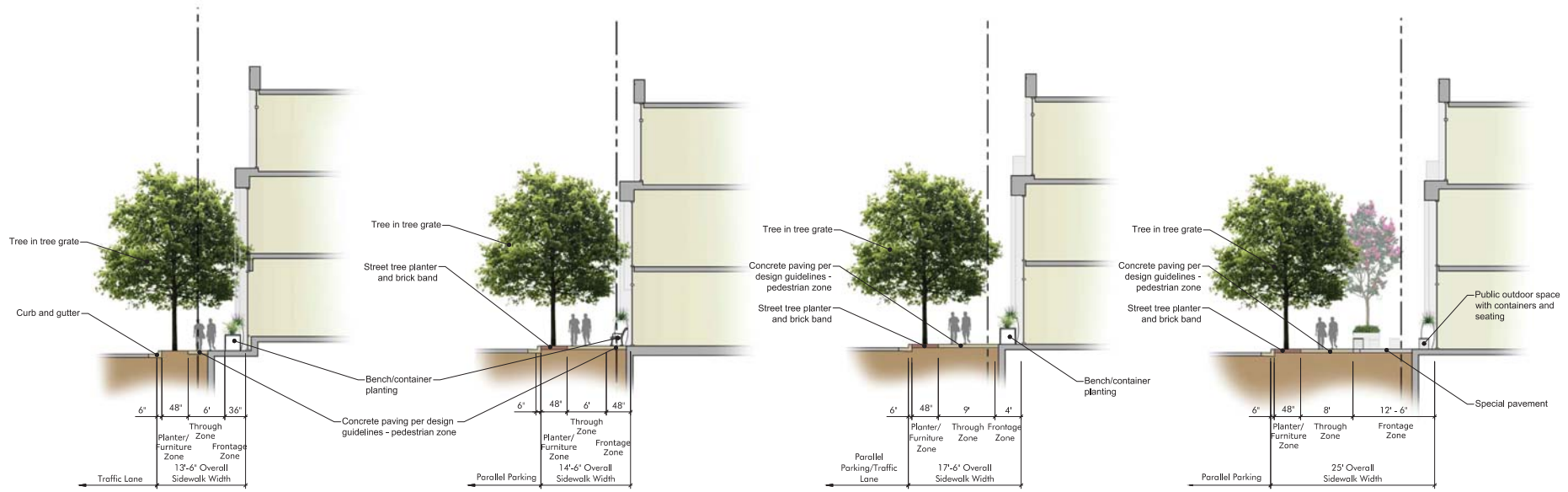
DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING SUBMITTAL II
02/09/2022	FINAL PLANNING SUBMITTAL

PRELIMINARY
STORMWATER
CONTROL NOTES

C6.02

PROJECT NO. 205207





Concept Imagery



Modular raised planters with integrated bench



Bike rack - Walls Circular Rack - WCR24G. Finish to be stainless steel.



Bench - per City of San Mateo Design Guidelines, Walnut Valley - Estate Series 72" with intermediate armrest. Color: Black powder coat



Trash receptacle - Walnut Valley Urbanscape 12" style 32 gallon Receptacle. Color: Black powder coat



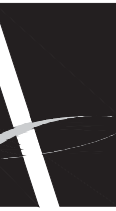
Planting Containers



Tree grate - per City of San Mateo Design Guidelines, Urban Accessories - 10" x 10" Title 24, Color: Powdercoat RAL 6004



Brick paving - per City of San Mateo Design Guidelines, McHear Brick and Block - Commercial Series. Color: Tangiers.



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San Jose, CA 95119 408.494.1121
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/21/2021	PLANNING SUBMITTAL
11/22/2021	PLANNING RESUBMITTAL
12/23/2022	PLANNING RESUBMITTAL

Preliminary
Sections

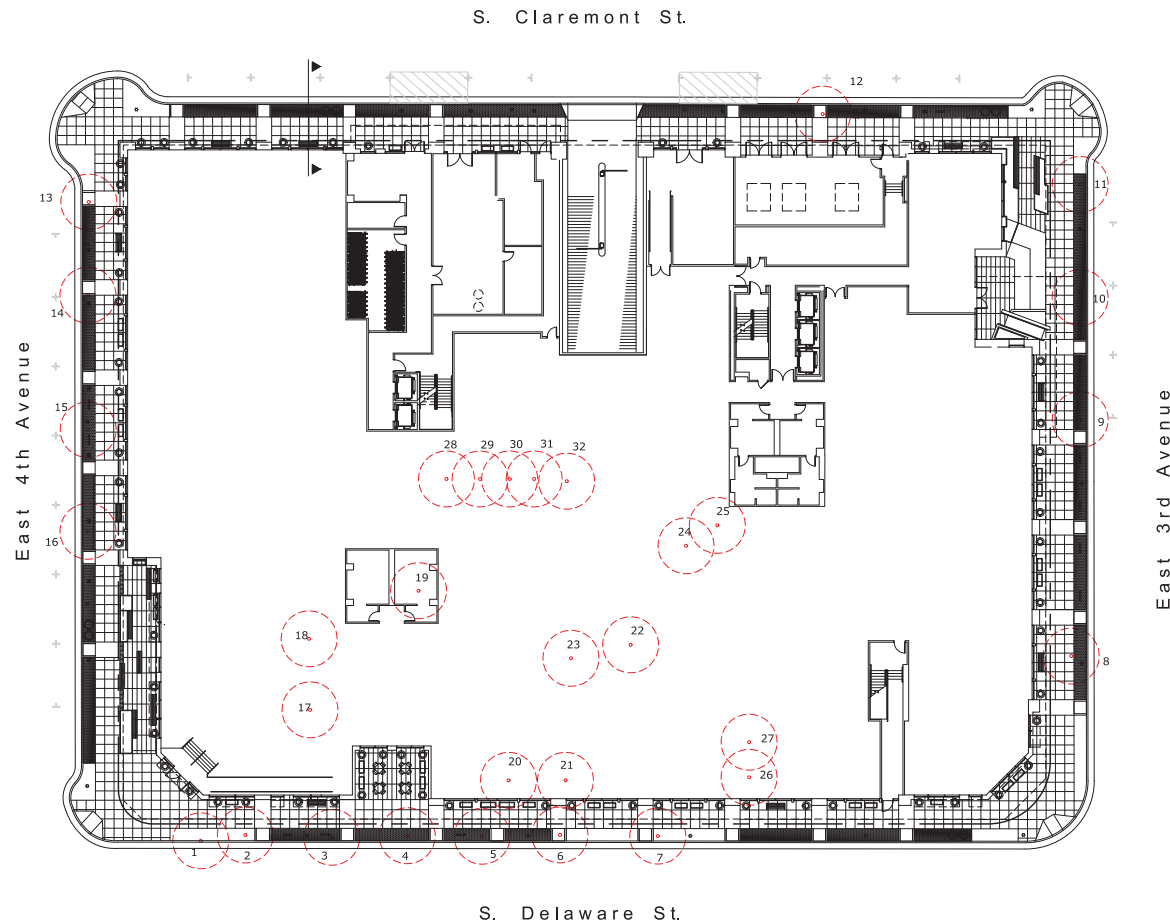
L0.3

PROJECT NO: KLA-21-2369

Existing Tree Disposition

Existing Trees to be removed

Number corresponds to Tree Evaluation Schedule provided in Arborist's Report



Tree Evaluation Schedule

Tree#	Species	DBH	CON	HT/SP	Comments
1P/R	Australian willow (<i>Geijera parviflora</i>)	18.3	20	30/20	Poor vigor, poor form, struck by vehicle in past, decay on trunk, more than 50% of cambium gone, included bark at 5', street tree .
2P/R	Australian willow (<i>Geijera parviflora</i>)	15.9	50	35/25	Fair vigor, poor form, codominant at 10 feet with included bark, street tree .
3P/R	Australian willow (<i>Geijera parviflora</i>)	19.4	50	30/25	Fair to poor vigor, fair form, codominant at 8 feet with fair union, street tree .
4P/R	Australian willow (<i>Geijera parviflora</i>)	27.2	40	35/30	Poor vigor, poor form, die back, multi leader at 6 feet with included bark, street tree .
5P/R	Australian willow (<i>Geijera parviflora</i>)	18.5	45	30/25	Fair vigor, fair form, areas of decay on trunk, street tree .
6P/R	Australian willow (<i>Geijera parviflora</i>)	21.3	30	35/30	Poor vigor, poor form, codominant at 5 feet with included bark, decay on trunk and codominant leaders.
7P/R	Australian willow (<i>Geijera parviflora</i>)	15.0	30	20/15	Poor vigor, poor form, topped in past, in decline, street tree .
8P/R	Hackberry (<i>Celtis occidentalis</i>)	10.7	45	30/20	Fair vigor, poor form, decay at root crown, girdled by tree grate, near overhead utilities, topped in past, street tree .
9P/R	Hackberry (<i>Celtis occidentalis</i>)	8.0	50	30/15	Fair vigor, fair form, topped in past, street tree .
10P/R	Hackberry (<i>Celtis occidentalis</i>)	9.2	40	25/20	Fair vigor, poor form, decay at root crown, girdled by tree grate, topped in past, street tree .
11P/R	Hackberry (<i>Celtis occidentalis</i>)	10.8	45	30/20	Fair vigor, poor form, girdled by tree grate, topped, street tree .
12R	Water gum (<i>Tristania lamarum</i>)	6.1	70	12/10	Good vigor, good form.
13P/R	Hackberry (<i>Celtis occidentalis</i>)	6.4	45	20/15	Good vigor, poor form, street tree , topped in past.
14P/R	Hackberry (<i>Celtis occidentalis</i>)	7.0	45	25/15	Fair to poor vigor, fair form, die back, street tree .
15P/R	Hackberry (<i>Celtis occidentalis</i>)	9.6	40	25/15	Fair vigor, poor form, girdled root crown, decay at root crown, street tree .
16P/R	Hackberry (<i>Celtis occidentalis</i>)	9.4	40	25/15	Fair vigor, poor form, girdled root crown, decay at root crown, street tree .
17R	Hollywood juniper (<i>Juniperus chinensis</i>)	7.3	50	15/10	Fair vigor, fair form, against building.
18R	Hollywood juniper (<i>Juniperus chinensis</i>)	8.5	50	15/10	Fair vigor, fair form, against building.
19P/R	American elm 12-12-15-10 (<i>Ulmus americana</i>)	30@base	50	50/35	Fair vigor, poor form, multi leader at 2 feet with included bark.
20R	Australian cherry (<i>Syzygium australe</i>)	4.0	30	8/3	Poor vigor, poor form, in decline.
21R	Australian cherry (<i>Syzygium australe</i>)	6.0	30	8/4	Poor vigor, poor form, in decline.
22R	Lemon (<i>Citrus sp.</i>)	6.0	40	12/10	Poor vigor, poor form, in decline.
23R	Avocado (<i>Persea americana</i>)	6.0	50	12/10	Fair vigor, fair form.
24P/R	English walnut (<i>Juglans regia</i>)	16.5	30	30/20	Poor vigor, poor form, in decline.
25P/R	Plum (<i>Prunus sp.</i>)	8-9-8-7-10 18@base	30	30/20	Poor vigor, poor form, in decline.
26P/R	Australian cherry 12-15-8-8 (<i>Syzygium australe</i>)	28@base	50	35/30	Good vigor, poor form, multi leader at grade, against small retaining wall.
27R	Big leaf maple (<i>Acer macrophyllum</i>)	7.8	30	15/15	Fair vigor, poor form, leans heavy, suppressed, against retaining wall.
28P/R	American elm (<i>Ulmus americana</i>)	18est	60	45/25	Fair vigor, fair form, codominant at 12 feet.
29P/R	American elm (<i>Ulmus americana</i>)	15-15est 20@base	60	45/25	Fair vigor, fair form, codominant at 5 feet.
30P/R	American elm (<i>Ulmus americana</i>)	18est	60	45/25	Fair vigor, fair form, codominant at base.
31P/R	California pepper (<i>Schinus molle</i>)	18est	45	20/15	Fair vigor, poor form, heavily decayed trunk, suppressed.
32R	American elm (<i>Ulmus americana</i>)	6est	45	25/15	Fair vigor, poor form, heavily suppressed.



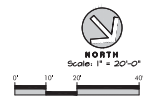
ARC TEC
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Arizona

1771 Kellenburger Drive, Suite 100
San Jose, CA 95131 408.496.1121
The project was prepared by ARC TEC, a registered professional architectural firm, under the supervision of a licensed architect. The project was prepared for the client, WINDY HILL PROPERTY VENTURES, and is not to be used for any other purpose without the written consent of ARC TEC. The project was prepared for the client, WINDY HILL PROPERTY VENTURES, and is not to be used for any other purpose without the written consent of ARC TEC. The project was prepared for the client, WINDY HILL PROPERTY VENTURES, and is not to be used for any other purpose without the written consent of ARC TEC.



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/1/2021	PLANNING SUBMITTAL
10/22/2021	PLANNING RESUBMITTAL
10/26/2022	PLANNING RESUBMITTAL



Existing Tree
Disposition Plan
L0.6a
PROJECT NO. KLA - 21-2399

Kiely Arborist Services LLC

Certified Arborist WETA076A
P.O. Box 4187
San Mateo, CA 94403
(650-713-4783)

October 6th, 2021

Lisa Ring, ACP
LOR Planning & Environmental Consulting, INC.
One Black 21 Project, San Mateo CA
Dear Mr. Ring,

As requested on Wednesday, February 6th 2021, and again on Wednesday, September 22nd, 2021, I visited the above site to inspect and estimate the trees. A large development project is proposed on this block and will require the removal of all of the surveyed trees. A L1 evaluation, plant and tree reporting form can be found within this report. The most common plant have been removed for writing this report. No neighboring bearings trees will have construction performed within a radius equal to ten times the diameter of the tree trunk.

Method:
All inspections were made from the ground, the trees were not climbed for this inspection. The trees in question were located on one plot 31 dated February 2018. The trees were then measured for diameter at 41 inches above ground level (DDB) or diameter at breast height. The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale:

- 1 - 20 Very Poor
- 30 - 40 Poor
- 50 - 60 Fair
- 70 - 80 Good
- 90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 550 Dipperometer. The spread was pencil-off. Comments and recommendations for future maintenance are provided.

Tree ID	Species Name	Form	Vitality	Condition	DBH	Height	Spread	Notes
1	Australian Willow	Good	Good	Good	18.3	20	30x20	Tree in poor vigor, struck by vehicle in 4/18, decay on trunk, more than 50% of crown gone, included back at 7' Street
2	Australian Willow	Good	Good	Good	15.9	30	30x20	Fair vigor, poor form, codominant at 10 feet with included back, street tree.
3	Australian Willow	Good	Good	Good	19.4	30	30x20	Fair to poor vigor, fair form, codominant at 8 feet with included back, street tree.
4	Australian Willow	Good	Good	Good	27.2	40	35x30	Poor vigor, poor form, decay on trunk, multi leader at 8 feet with included back, street tree.
5	Australian Willow	Good	Good	Good	18.3	40	30x20	Fair vigor, fair form, area of decay on trunk, street tree.
6	Australian Willow	Good	Good	Good	21.3	30	35x30	Poor vigor, poor form, codominant at 5 feet with included back, decay on trunk and codominant leader.
7	Australian Willow	Good	Good	Good	15.9	30	20x15	Poor vigor, poor form, topped in past, in decline, street tree.
8	Hackberry	Good	Good	Good	10.7	40	30x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, more involved within, topped in past, street tree.
9	Hackberry	Good	Good	Good	8.0	50	30x15	Fair vigor, fair form, topped in past, street tree.
10	Hackberry	Good	Good	Good	9.2	40	25x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, topped in past, street tree.
11	Hackberry	Good	Good	Good	10.8	40	30x20	Fair vigor, poor form, girdled by tree grass, topped, street tree.
12	Water gum	Good	Good	Good	6.1	70	12x10	Good vigor, good form.
13	Hackberry	Good	Good	Good	6.4	40	20x15	Good vigor, poor form, street tree, topped in past.

Showing 11' values, street trees 11, 12, & 13 are not to be included in replanting.
Total value of LU not including street trees=86.3



The remaining trees are not of a protected size in the city of San Mateo.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,
Kevin Kiely Certified Arborist WETA076A *Kevin Kiely*

Tree ID	Species Name	Form	Vitality	Condition	DBH	Height	Spread	Notes
14	Hackberry	Good	Good	Good	10.7	40	30x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, more involved within, topped in past, street tree.
15	Hackberry	Good	Good	Good	8.0	50	30x15	Fair vigor, fair form, topped in past, street tree.
16	Hackberry	Good	Good	Good	9.2	40	25x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, topped in past, street tree.
17	Hackberry	Good	Good	Good	10.8	40	30x20	Fair vigor, poor form, girdled by tree grass, topped, street tree.
18	Water gum	Good	Good	Good	6.1	70	12x10	Good vigor, good form.
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Tree ID	Species Name	Form	Vitality	Condition	DBH	Height	Spread	Notes
20	Hackberry	Good	Good	Good	10.7	40	30x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, more involved within, topped in past, street tree.
21	Hackberry	Good	Good	Good	8.0	50	30x15	Fair vigor, fair form, topped in past, street tree.
22	Hackberry	Good	Good	Good	9.2	40	25x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, topped in past, street tree.
23	Hackberry	Good	Good	Good	10.8	40	30x20	Fair vigor, poor form, girdled by tree grass, topped, street tree.
24	Water gum	Good	Good	Good	6.1	70	12x10	Good vigor, good form.
25	Hackberry	Good	Good	Good	6.4	40	20x15	Good vigor, poor form, street tree, topped in past.



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Tree ID	Species Name	Form	Vitality	Condition	DBH	Height	Spread	Notes
26	Hackberry	Good	Good	Good	10.7	40	30x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, more involved within, topped in past, street tree.
27	Hackberry	Good	Good	Good	8.0	50	30x15	Fair vigor, fair form, topped in past, street tree.
28	Hackberry	Good	Good	Good	9.2	40	25x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, topped in past, street tree.
29	Hackberry	Good	Good	Good	10.8	40	30x20	Fair vigor, poor form, girdled by tree grass, topped, street tree.
30	Water gum	Good	Good	Good	6.1	70	12x10	Good vigor, good form.
31	Hackberry	Good	Good	Good	6.4	40	20x15	Good vigor, poor form, street tree, topped in past.



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ARC TEC

ARCHITECTURAL TECHNOLOGIES

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California

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KLA

LANDSCAPE

ARCHITECTURE

PLANNING

1771 Westwood Blvd., Suite 100

San Jose, CA 95131 408.496.1121

PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 21

SAN MATEO, CA 94401

DATETITLEDESCRIPTION

10/22/2021PLANNING SUBMITTAL

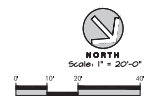
10/26/2021PLANNING SUBMITTAL

10/26/2021PLANNING SUBMITTAL

Arborist's Report

L0.6b

PROJECT NO: KLA - 21-2399



A.4.1. Materials and Finishings: Pedestrian Scale Lighting

Pedestrian Scale Lighting

TECHNICAL INFORMATION

- Material: Pedestrian Scale Lighting Series: unpolished metal
- Fixture: Post Top with full glass globe with decorative finial. Also available in a variety of sizes.
- Color: Midnight Green
- Option: 100 watt with beam of distribution
- Pole: 10' Tall. Handicapped ramps, cast aluminum, 30" dia. supported with 4" x 4" x 10' pole
- Base: configured to fit City standard 11" hole. strong pattern, with 1" hole
- Notes: For complete specifications see attached. The City may be the best way to describe the specifications.

City of San Diego | 11



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

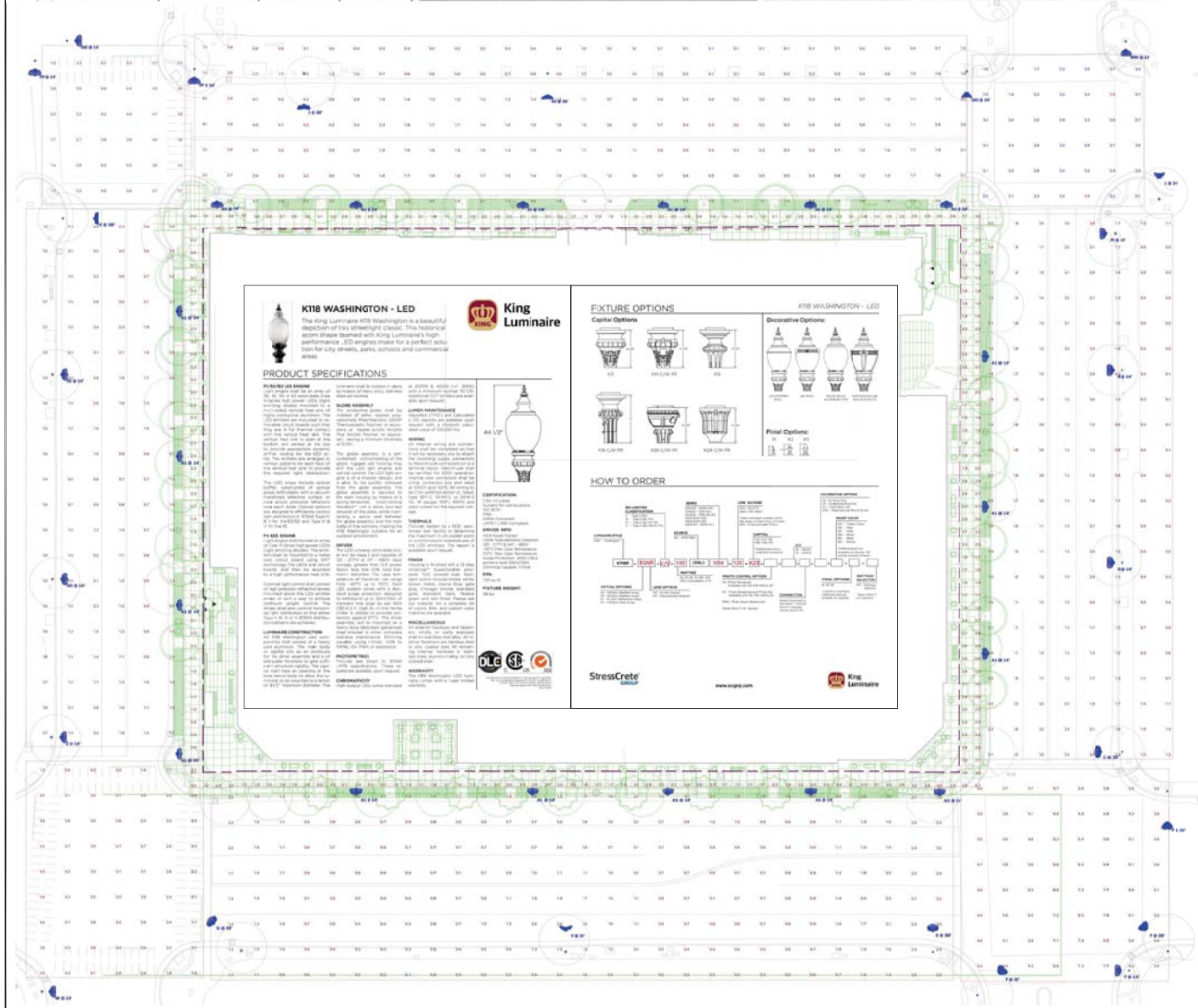
DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING RESUBMITTAL
02/16/2022	PLANNING RESUBMITTAL
03/29/2022	PLANNING RESUBMITTAL

Landscape
Lighting Plan
L0.7
PROJECT NO: KLA - 21-2369

- | Analysis Zone | Pavement
Average
Horizontal
Illuminance (fc)
L_{avg} | Average
Uniformity
Ratio
L_{avg}/L_{min} | Maximum
Uniformity
Ratio
L_{max}/L_{min} |
|----------------------------|--|---|---|
| 4 th Ave – Road | 1.7 | 3.0 | 5.0 |
| 3 rd Ave – Road | 1.7 | 3.0 | 5.0 |
| Claremont St – Road | 1.1 | 3.0 | 5.0 |
| Delaware St – Road | 1.7 | 3.0 | 5.0 |

4 th Ave - Sidewalk	0.9	4.0	NA
3 rd Ave - Sidewalk	0.9	4.0	NA
Claremont St - Sidewalk	0.9	4.0	NA
Delaware St - Sidewalk	0.9	4.0	NA
3 rd Ave / Delaware St	3.2	3.0	NA
3 rd Ave / Claremont St	2.7	3.0	NA
4 th Ave / Delaware St	3.2	3.0	NA
4 th Ave / Claremont St	2.7	3.0	NA

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone @ 3RD & S. DELAWARE	+	3.5 fc	5.8 fc	1.2 fc	4.8:1	2.9:1
Calc Zone @ S. DELAWARE & 4TH	+	2.7 fc	3.9 fc	1.7 fc	2.3:1	1.6:1
Calc Zone @ CLAREMONT & 4TH	+	5.2 fc	8.5 fc	3.0 fc	2.8:1	1.7:1
Calc Zone @ 3RD & CLAREMONT	+	3.0 fc	4.8 fc	1.6 fc	3.0:1	1.9:1
Calc Zone @ 3RD	+	1.6 fc	5.3 fc	0.2 fc	26.5:1	8.0:1
Calc Zone @ 4TH	+	1.4 fc	3.8 fc	0.1 fc	38.0:1	14.0:1
Calc Zone @ CLAREMONT	+	1.1 fc	3.2 fc	0.1 fc	32.0:1	11.0:1
Calc Zone @ S. DELAWARE	+	1.4 fc	4.8 fc	0.1 fc	48.0:1	14.0:1
Calc Zone @ SIDEWALK	+	2.3 fc	4.8 fc	1.1 fc	4.4:1	2.1:1

[illegible]